



**BRISTOL POLICE DEPARTMENT
SPECIAL BOARD OF POLICE COMMISSIONERS MEETING
CITY HALL WEST MEETING ROOM 1, 131 NORTH MAIN STREET, FLR. 2
WEDNESDAY, NOVEMBER 2, 2022
6:00 p.m.**

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1. CALL TO ORDER	
2. CONSIDERATION OF MINUTES	
a. Special Police Board Meeting September 21, 2022	1-3
3. REPORT OF ACCOUNTS YEAR TO DATE	4-7
4. APPROVAL OF VARIOUS MONTHLY REPORTS	
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6. AWARDS COMMITTEE MINUTES	23-24
7. NEW BUSINESS	
7.1 Chief Gould	
a. Marwood Condominiums	25
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d. Bristol Animal Control Facility Renovations	see attached
e. Traffic Calming	
f. Police Memorial Committee	
7.2 Police Commissioners	
8. To convene into executive session to interview one candidate for the position of Police Officer and to take any action as necessary.	
9. To reconvene into public session and to take any action as necessary.	
10. ADJOURN	

Join Zoom Meeting: <https://bristolct.gov.zoom.us/j/93846613504?pwd=V0FaN09qSUROa2tMM1psQ2V3YnRCQT09>
Meeting ID: 854 7387 5326 Or call in 1-929-205-6099
Passcode: 123456

BOARD OF POLICE COMMISSIONERS
Special Board of Police Commissioners Meeting
September 21, 2022 6:00 p.m.
City Hall West Meeting Room, 131 North Main Street, Floor 2

PRESENT:

Commissioner Rory Ghio
Commissioner Paul Lemieux
Commissioner Terry Lewis
Commissioner Rosado
Commissioner Gloria Sapp Smith
Council Member Sue Tyler

ABSENT:

Mayor Jeff Caggiano, Mayor

1. CALL TO ORDER

Council Member Tyler called the meeting to order at 6:00 P.M.

2. AWARDS

Lieutenant Jason Warner, Officer Taylor Bay Sutton and Dispatcher Jennifer Belli received the Department Life Saving Award. Lieutenant Jason Warner and Officer Taylor Bay Sutton also received Officers of the Month for August.

Officer Jonathon Taylor received a Letter of Commendation.

Officer Monica Finkle and Officer Mark McGrane received a Letter of Commendation.

Dispatcher Amy Therrien received an Exceptional Service Award.

Citizens Kelly Kay and Bika Stergos received the Citizen's Commendation Award and Citizen Chas Plumley received a Life Saving Award.

3. PUBLIC PARTICIPATION

None

4. CONSIDERATION OF THE MINUTES

Commissioner Rosado moved to APPROVE THE MINUTES FROM THE AUGUST 16, 2022 REGULAR POLICE BOARD MEETING, Second by Commissioner Lewis.

VOTE: PASSED

5. REPORTS OF ACCOUNTS YEAR TO DATE

Commissioner Lemieux moved to APPROVE THE REPORT OF ACCOUNTS YEAR TO DATE AND PLACE ON FILE, Second by Commissioner Ghio.

VOTE: UNANIMOUSLY PASSED

6. APPROVAL OF VARIOUS MONTHLY REPORTS

Commissioner Rosado moved to APPROVE MONTHLY REPORTS A-M AND PLACE ON FILE, Second by Commissioner Lemieux.

VOTE: UNANIMOUSLY PASSED

7. CORRESPONDENCE

8. COMMITTEE REPORTS

Awards Committee

Commissioner Ghio moved to APPROVE THE SEPTEMBER 6, 2022 AWARDS COMMITTEE MINUTES, Second by Commissioner Lemieux.

VOTE: UNANIMOUSLY PASSED

9. TRAFFIC REPORTS

a. Monthly Traffic Division Report

Commissioner Lewis moved to PLACE THE TRAFFIC REPORT ON FILE, Second by Commissioner Ghio.

VOTE: UNANIMOUSLY PASSED

b. Parking changes for proposed municipal parking garage

Commissioner Ghio moved to APPROVE THE TRAFFIC DIVISION'S RECOMMENDATION TO ADD A "NO PARKING 7AM TO 5PM," RESTRICTION ALONG THE SOUTHEAST CORNER OF KELLEY STREET AT MEADOW STREET ADJACENT TO THE CITY/POLICE DEPARTMENT PARKING LOT AND EXTEND THE EXISTING PARKING RESTRICTION OF "NO PARKING 7AM TO 5PM" EAST FROM THE SCHOOL TO KELLEY STREET. THIS SHOULD REMAIN UNTIL THE PROPOSED MUNICIPAL PARKING GARAGE CONSTRUCTION IS COMPLETE. AFTER, A REVIEW OF THE AREA CAN BE CONDUCTED TO DETERMINE IF THIS RESTRICTION CAN BE REMOVED, Second by Commissioner Lewis.

VOTE: UNANIMOUSLY PASSED

c. Parking Complaints Grove Avenue

Commissioner Rosado moved to APPROVE TO ADD A "NO PARKING THIS SIDE OF SIGN" RESTRICTION 25 FEET NORTH OF GROVE AVENUE TO KEEP THE INTERSECTION AREA CLEAR FROM VEHICLES. VEHICLES WOULD BE ALLOWED TO PARK NORTH OF THIS SIGN, Second by Commissioner Lemieux.

VOTE: UNANIMOUSLY PASSED

10. NEW BUSINESS

10.1 Chief Gould

a. Bid Waiver Request – Motorola

Commissioner Ghio moved to ACCEPT AND FORWARD THE BID WAIVER TO THE BOARD OF FINANCE, Second by Commissioner Rosado.

VOTE: UNANIMOUSLY PASSED

b. Board of Finance Requests

Commissioner Rosado moved to APPROVE AND FORWARD THE BOARD OF FINANCE REQUESTS FOR THE UPGRADE TO THE CITY RADIO SYSTEM, DSET GRANT, STATE OF CONNECTICUT OFFICE OF POLICE AND MANGEMENT GRANT AND COMMUNICATIONS TRAVEL REIMBURSEMENT, Second by Commissioner Ghio.

VOTE: UNANIMOUSLY PASSED

c. Grant Requests

Commissioner Lemieux moved TO APPROVE APPLYING FOR THE FY23 DISTRACTED DRIVING HIGH VISIBILITY ENFORCEMENT GRANT, DUI ENFORCEMENT GRANT AND THE CLICK IT OR TICKET GRANT, Second by Commissioner Lewis.

VOTE: UNANIMOUSLY PASSED

Commissioner Ghio moved to APPROVE APPLYING FOR THE CT TRANSPORTATION FY23 HIGHWAY SAFETY GRANT – TRAFFIC RECORDS, Second by Commissioner Rosado.

VOTE: UNANIMOUSLY PASSED

11.2 Police Commissioners

12. ADJOURNMENT

Commissioner Rosado moved to ADJOURN, Second by Commissioner Ghio.

VOTE: UNANIMOUSLY PASSED

The regular meeting of the Board of Police Commissioners called for the 21st day of September, 2022 was HEREBY ADJOURNED AT 6:33 p.m.

ATTEST: *Lisa Ziogas*

**POLICE DEPARTMENT
YTD BUDGET REPORT
FY23**

OCTOBER 2022

	Original Budget	Revised Budget	Year-To-Date Expended	Year-To-Date Balance	% Left
Total Police Dept. Summary:					
Total Police Dept. Salary Expense	\$14,819,385.00	\$14,819,385.00	\$3,119,420.58	\$11,699,964.42	78.95%
Total Police Dept. Non-Salary Expense	\$1,244,715.00	\$1,244,715.00	\$644,981.38	\$599,733.62	48.18%
Total Police Dept.	\$16,064,100.00	\$16,064,100.00	\$3,764,401.96	\$12,299,698.04	76.57%
Police Admin. Salary Expense					
Regular Wages	\$704,105.00	\$704,105.00	\$148,389.95	\$555,715.05	78.93%
Overtime Wages	\$10,425.00	\$10,425.00	\$774.64	\$9,650.36	92.57%
Other Wages	\$3,750.00	\$3,750.00	\$0.00	\$3,750.00	100.00%
Total Police Admin. Salary Expense	\$718,280.00	\$718,280.00	\$149,164.59	\$569,115.41	79.23%
Police Admin. Non-Salary Expense					
Clothing Allowance	\$190,000.00	\$190,000.00	\$128,334.00	\$61,666.00	32.46%
Union Contract Responsibilities	\$200.00	\$200.00	\$0.00	\$200.00	100.00%
Professional Fees & Service	\$30,015.00	\$30,015.00	\$6,218.13	\$23,796.87	79.28%
Testing Fees	\$19,375.00	\$19,375.00	\$8,525.00	\$10,850.00	56.00%
Public Utilities	\$27,000.00	\$27,000.00	\$4,148.36	\$22,851.64	84.64%
Refuse	\$175.00	\$175.00	\$0.00	\$175.00	100.00%
Repairs & Maintenance	\$461,840.00	\$461,840.00	\$429,195.17	\$32,644.83	7.07%
Rents & Leases	\$4,520.00	\$4,520.00	\$314.00	\$4,206.00	93.05%
Telephone	\$33,000.00	\$33,000.00	\$5,771.61	\$27,228.39	82.51%
Postage	\$4,000.00	\$4,000.00	\$198.03	\$3,801.97	95.05%
Travel Reimbursement	\$100.00	\$100.00	\$0.00	\$100.00	100.00%
Printing and Binding	\$3,700.00	\$3,700.00	\$176.20	\$3,523.80	95.24%
Program Supplies	\$130,000.00	\$130,000.00	\$12,822.88	\$117,177.12	90.14%
Office Supplies	\$5,000.00	\$5,000.00	\$1,194.25	\$3,805.75	76.12%
Conference & Memberships	\$4,485.00	\$4,485.00	\$3,850.00	\$635.00	14.16%
Schooling & Education	\$82,160.00	\$82,160.00	\$15,650.40	\$66,509.60	80.95%
Total Police Admin. Non-Salary Expense	\$995,570.00	\$995,570.00	\$616,398.03	\$379,171.97	38.09%

OCTOBER 2022

	Original Budget	Revised Budget	Year-To-Date Expended	Year-To-Date Balance	% Left
Police Maintenance Salary Expense					
Regular Wages	\$67,695.00	\$67,695.00	\$14,523.60	\$53,171.40	78.55%
Overtime Wages	\$14,000.00	\$14,000.00	\$2,415.43	\$11,584.57	82.75%
Other Wages	\$1,300.00	\$1,300.00	\$0.00	\$1,300.00	100.00%
Total Police Maintenance Salary Expense	\$82,995.00	\$82,995.00	\$16,939.03	\$66,055.97	79.59%
Police Maintenance Non-Salary Expense					
Motor Vehicle Service and Repair	\$65,000.00	\$65,000.00	\$15,779.46	\$49,220.54	75.72%
Maintenance Supplies and Materials	\$12,000.00	\$12,000.00	\$6,166.26	\$5,833.74	48.61%
Motor Fuels	\$139,145.00	\$139,145.00	\$392.31	\$138,752.69	99.72%
Tires, Tubes, Chains	\$20,500.00	\$20,500.00	\$1,402.32	\$19,097.68	93.16%
Traffic Division Equipment	\$12,500.00	\$12,500.00	\$4,843.00	\$7,657.00	61.26%
Total Police Maintenance Non-Salary Expense	\$249,145.00	\$249,145.00	\$28,583.35	\$220,561.65	88.53%
Police Patrol & Traffic Salary Expense					
Regular Wages	\$8,177,305.00	\$8,177,305.00	\$1,651,027.47	\$6,526,277.53	79.81%
Overtime Wages	\$2,040,000.00	\$2,040,000.00	\$546,005.98	\$1,493,994.02	73.24%
Other Wages	\$875,000.00	\$875,000.00	\$149,012.54	\$725,987.46	82.97%
Total Police Patrol & Traffic Salary Expense	\$11,092,305.00	\$11,092,305.00	\$2,346,045.99	\$8,746,259.01	78.85%
Police CID Salary Expense					
Regular Wages	\$2,155,805.00	\$2,155,805.00	\$447,255.37	\$1,708,549.63	79.25%
Overtime Wages	\$520,000.00	\$520,000.00	\$117,298.52	\$402,701.48	77.44%
Other Wages	\$250,000.00	\$250,000.00	\$42,717.08	\$207,282.92	82.91%
Total Police CID Salary Expense	\$2,925,805.00	\$2,925,805.00	\$607,270.97	\$2,318,534.03	79.24%

OCTOBER 2022

	Original Budget	Revised Budget	Year-To-Date Expended	Year-To-Date Balance	% Left
Total Police Comm. Division Summary:					
Total Communications Salary Expense	\$1,578,540.00	\$1,578,540.00	\$347,185.32	\$1,231,354.68	78.01%
Total Communications Non-Salary Expense	\$152,255.00	\$226,135.00	\$29,934.38	\$196,200.62	86.76%
Total Communications Division	\$1,730,795.00	\$1,804,675.00	\$377,119.70	\$1,427,555.30	79.10%
Police Communications Division					
Regular Wages	\$1,187,540.00	\$1,187,540.00	\$242,330.39	\$945,209.61	79.59%
Overtime Wages	\$266,000.00	\$266,000.00	\$85,003.35	\$180,996.65	68.04%
Other Wages	\$125,000.00	\$125,000.00	\$19,851.58	\$105,148.42	84.12%
Total Communications Salary Expense	\$1,578,540.00	\$1,578,540.00	\$347,185.32	\$1,231,354.68	78.01%
Police Communication Non-Salary Exp.					
Clothing Allowance	\$9,265.00	\$9,265.00	\$0.00	\$9,265.00	100.00%
Professional Fees	\$2,895.00	\$2,895.00	\$0.00	\$2,895.00	100.00%
Training	\$0.00	\$12,204.00	\$1,865.00	\$10,339.00	0.00%
Public Utilities	\$18,000.00	\$18,000.00	\$3,138.59	\$14,861.41	82.56%
Repairs & Maintenance	\$80,650.00	\$80,650.00	\$12,153.69	\$68,496.31	84.93%
Telephone	\$6,300.00	\$6,300.00	\$1,415.88	\$4,884.12	77.53%
Travel Reimbursement	\$500.00	\$500.00	\$615.63	(\$115.63)	-23.13%
Printing and Binding	\$100.00	\$100.00	\$21.05	\$78.95	78.95%
Generator Fuel	\$3,025.00	\$3,025.00	\$0.00	\$3,025.00	100.00%
Office Supplies	\$900.00	\$900.00	\$385.16	\$514.84	57.20%
Communications Equipment	\$30,620.00	\$92,296.00	\$10,339.38	\$81,956.62	88.80%
Conference & Membership	\$0.00	\$0.00	\$0.00	\$0.00	0.00%
Total Non-Salary Exp.	\$152,255.00	\$226,135.00	\$29,934.38	\$196,200.62	86.76%

CITY OF BRISTOL
ANIMAL CONTROL
YTD BUDGET REPORT
FY23

OCTOBER 2022

	Original Budget	Revised Budget	Year-To-Date Expended	Balance	% Left
Total Animal Control Summary:					
Total Animal Control Salary Expense	\$180,490.00	\$180,490.00	\$22,413.33	\$158,076.67	87.58%
Total Animal Control Non-Salary Expense	\$17,025.00	\$17,025.00	\$3,391.94	\$13,633.06	80.08%
Total Police Dept.	\$197,515.00	\$197,515.00	\$25,805.27	\$171,709.73	86.94%
Animal Control Salary Expense					
Regular Wages	\$145,490.00	\$145,490.00	\$15,590.17	\$129,899.83	89.28%
Overtime Wages & Salaries	\$19,000.00	\$19,000.00	\$5,706.55	\$13,293.45	69.97%
Other Wages	\$16,000.00	\$16,000.00	\$1,116.61	\$14,883.39	93.02%
Total Animal Control Salary Expense	\$180,490.00	\$180,490.00	\$22,413.33	\$158,076.67	87.58%
Animal Control Non-Salary Expense					
Clothing Allowance	\$2,500.00	\$2,500.00	\$1,250.00	\$1,250.00	50.00%
Professional Fees & Service	\$5,000.00	\$5,000.00	\$617.56	\$4,382.44	87.65%
Public Utilities	\$2,500.00	\$2,500.00	\$878.61	\$1,621.39	64.86%
Water & Sewer Charges	\$800.00	\$800.00	\$233.38	\$566.62	70.83%
Advertising	\$325.00	\$325.00	\$40.00	\$285.00	87.69%
Maintenance Supplies	\$500.00	\$500.00	\$0.00	\$500.00	100.00%
Program Supplies + Dog Food	\$500.00	\$500.00	\$0.00	\$500.00	100.00%
Natural Gas	\$4,600.00	\$4,600.00	\$372.39	\$4,227.61	91.90%
Schooling & Education	\$300.00	\$300.00	\$0.00	\$300.00	100.00%
Total Animal Control Non-Salary Expense	\$17,025.00	\$17,025.00	\$3,391.94	\$13,633.06	80.08%

BRISTOL POLICE DEPARTMENT
Records Division
2022 monthly traffic report

	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	TOTAL
2022 Accident reports	229	152	140	159	203	152	146	176	155				1512
2021 Accident reports	141	161	164	183	168	167	156	154	184	183	161	178	2000
2022 Motor vehicle arrests	39	42	144	89	55	22	56	49	17				513
2021 Motor vehicle arrests	49	22	42	65	31	65	79	79	80	99	69	21	701
2022 Accident arrests	11	13	17	21	15	11	16	10	18				132
2021 Accident arrests	6	21	18	15	13	12	14	10	12	15	14	18	168
2022 Written warnings	55	52	120	65	38	20	87	95	31				563
2021 Written warnings	78	41	115	88	43	31	41	28	14	44	50	21	594
2022 Fatal accidents	2	1	0	0	0	0	2	1	0				6
2021 Fatal accidents	0	1	1	0	1	0	1	0	0	0	0	0	4
2022 Number killed	2	1	0	0	0	0	2	1	0				6
2021 Number killed	0	1	1	0	1	0	1	1	0	0	0	0	5
2022 Injury accidents	23	19	17	18	25	28	23	22	20				195
2021 Injury accidents	15	18	17	21	30	29	30	25	26	19	18	31	279
2022 Number injured	45	37	33	31	31	42	45	25	43				332
2021 Number injured	25	35	27	22	31	31	36	29	52	28	31	53	400
2022 Property damage	204	132	123	141	178	124	122	153	135				1312
2021 Property damage	126	142	156	162	138	136	124	129	158	164	143	147	1725

10/4/2022

Lt. G. Lund

BRISTOL POLICE DEPARTMENT

Records Division

FY23 Monthly Parking Ticket Report

	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	March	April	May	June	Total
FY23 Tickets Issued	77	15	31										123
FY22 Tickets Issued	5	5	8	2	7	683	637	527	250	10	6	17	2,157
FY23 Number of Ticket Fines Paid	41	42	32										115
FY22 Number of Ticket Fines Paid	7	18	12	4	9	342	609	415	315	56	42	13	1,842
FY23 Amount Collected	\$1,440	\$2,230	\$1,465										\$5,135
FY22 Amount Collected	\$150	\$375	\$240	\$85	\$180	\$6,740	\$12,125	\$13,345	\$11,405	\$2,910	\$2,480	\$510	\$50,545

Prepared on 10/03/2022

Submitted by: *Lt. Geoff Lund*

BRISTOL POLICE DEPARTMENT

Records Division

2022 MONTHLY ARREST REPORT

	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
Misdemeanors:	20	27	22	52	32	35	27	31	28				274
Felonies:	10	21	25	22	18	24	31	14	12				177
Total Warrants Served:	30	48	47	74	50	59	58	45	40	0	0	0	451

10/3/2022

Lt. G. Lund

BRISTOL POLICE DEPARTMENT

Records Division

FY22 Monthly Alarm Collections

	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	March	April	May	June	Total
FY23 Alarms Responded To	128	130	126										384
FY22 Alarms Responded To	157	124	149	130	126	151	142	163	113	125	120	111	1,611
FY23 Citations Issued	6	12	14										32
FY23 Citations Paid	3	3	8										14
FY23 Alarm Fines Collected	\$270	\$270	\$1,530										\$2,070
FY22 Alarm Fines Collected	\$1,260	\$2,160	\$810	\$1,530	\$2,970	\$1,710	\$2,340	\$720	\$810	\$810	\$630	\$270	\$16,020
FY23 Unpaid Fines	\$12,960	\$15,030	\$16,380										N/A
FY23 Write Offs / Uncollectible	\$0	\$0	\$0										\$0
FY22 Unpaid Fines	\$10,800	\$12,150	\$13,950	\$13,410	\$13,500	\$15,660	\$13,500	\$13,140	\$11,610	\$11,250	\$10,980	\$10,980	N/A
FY22 Write Offs / Uncollectible	\$180	\$0	\$0	\$0	\$0	\$0	\$180	\$180	\$990	\$0	\$0	\$0	\$1,530

Submitted by: Lt. Geoff Lund

8/1/2022

According to Black's Law Dictionary, Uncollectible means:

"A thing unable to be collected after all efforts have been made".

Other definitions include:

"not capable of being collected; "a bad (or uncollectible) debt". bad. invalid - having no cogency or legal force; "invalid reasoning".

BOLDED

2022 - 2023 Write Offs

BRISTOL POLICE DEPARTMENT
Criminal Investigation Division
2022

	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	Y-T-D	Active
Gun Complaint/Shooting	2	1	1	0	1	2	0	1	3	0	0	0	11	9
Robbery	1	1	1	0	1	0	0	0	5	0	0	0	9	11
Assault	0	0	0	0	0	0	0	0	0	0	0	0	0	2
Sex Assault	1	3	1	6	8	4	5	2	6	0	0	0	36	25
Child Abuse	3	3	1	0	2	1	0	2	4	0	0	0	16	11
Child Pornography	0	0	0	1	0	0	0	0	0	0	0	0	1	2
Sudden Death	1	0	0	0	0	0	0	0	0	0	0	0	1	0
Burglary	4	5	5	6	8	0	3	1	2	0	0	0	34	23
Fraud	0	2	0	0	1	6	1	3	2	0	0	0	15	14
Larceny	0	1	3	5	1	1	0	5	1	0	0	0	17	12
Fire	1	1	0	0	0	0	0	0	1	0	0	0	3	1
Missing Person	0	3	1	0	2	4	3	4	3	0	0	0	20	1
Background Investigation	4	2	1	0	2	2	1	1	4	0	0	0	17	2
Miscellaneous	1	2	3	3	1	0	0	0	0	0	0	0	10	9
New Case Totals	18	24	17	21	27	20	13	19	31	0	0	0	190	122

The year to date (Y-T-D) numbers differ from the Active numbers as we may still be working on cases from previous months or years.

DEFINITIONS

Gun Complaint/Shooting	An incident involving someone being shot or shots being fired at someone/something
Robbery	Taking something from someone by force or the threatened use of force
Assault	With the intent to cause injury to someone the actor causes such injury
Sex Assault	The actors has sexual contact or sexual intercourse with someone in violation of statutes
Child Abuse	Inflicting pain, injury, or neglect on a person under 18 years of age
Child Pornography	Pornography that exploits children for sexual stimulation
Sudden Death	The sudden death of someone that results in a police investigation
Burglary	Entering or remaining in a building with the intent to commit a crime
Fraud	The actor knowingly or intentionally devises or participates in a scheme to defraud another
Larceny	The actor takes, obtains or withholds property of another with no intent of returning it
Fire	A fire that results in a police investigation
Missing Person	A person who's whereabouts are unknown
Background Invest	Pre-employment background investigation
Miscellaneous	An incident that does not fall in one of the above categories

BRISTOL POLICE DEPARTMENT													
CCU/POLYGRAPH													
2022													
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	Y-T-D
Digital Device Examinations	14	18	17	21	18	11	22	19	23				163
Judicial Requests	9	8	11	9	6	12	9	8	7				79
Court Orders	11	10	7	5	12	13	15	13	9				95
Technical Assistance	17	21	27	22	29	19	17	21	27				200
Interview Archive Requests	8	9	6	9	11	7	8	9	9				76
Surveillance Video Recovery	5	11	7	6	13	9	6	5	11				73
Employment Polygraphs	7	3	2	1	5	3	1	0	5				27
Criminal Polygraphs	0		1		2	0	0	1	0				4
GRAND TOTAL	71	80	78	73	96	74	78	76	91	0	0	0	717

Definitions

Digital Device Examinations: seize, preserve, analyze, extract and archive data from mobile phones, tablets, desktop and laptop computers, USB thumb drives, GPS, etc.

Judicial Requests: requests from the court for ex-parte orders, search warrants, and copies of digital evidence.

Court Orders: applications for ex-parte orders and search warrants.

Technical Assistance: assist officers with evidence gathering, archiving, and obtaining copies of digital evidence. Also, provide technical assistance with regard to computer crime investigations.

Interview Archive Requests: preserve and archive Bristol Police Department interviews as evidence.

Surveillance Video Recovery: preserve, recovery, and archive surveillance video from crime scenes.

Employment Polygraphs: polygraphs related to police applicants.

Criminal Polygraphs: polygraphs for any criminal matter.

BRISTOL POLICE DEPARTMENT
Narcotics Monthly Report

Sep-22

<u>NARCOTIC ARRESTS</u>	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	YTD
POSSESSION OF NARCOTICS	0	4	6	2	7	3	7	7	7	0	0	0	43
SALE OF NARCOTICS	2	5	7	1	4	5	2	0	10	0	0	0	36
PRESCRIPTION FRAUD	0	0	0	0	0	0	0	0	0	0	0	0	0
MISCELLANEOUS	4	0	0	0	1	0	1	1	1	0	0	0	8
CULTIVATION	0	0	0	0	0	0	0	0	0	0	0	0	0
GRAND TOTAL	6	9	13	3	12	8	10	8	18	0	0	0	87
<u>SEIZED NARCOTICS</u>													
EST. STREET VALUE	\$6,541	\$10,129	\$7,360	\$3,120	\$37,070	\$1,360	\$740	\$90	\$26,269	\$0	\$0	\$0	\$92,679
CASH SEIZED	\$685	\$1,946	\$2,243	\$0	\$4,361	\$6,345	\$820	\$347	\$12,071	\$0	\$0	\$1	\$28,819
GRAND TOTAL	\$7,226	\$12,075	\$9,603	\$3,120	\$41,431	\$7,705	\$1,560	\$437	\$38,340	\$0	\$0	\$1	\$121,498
<u>INVESTIGATIONS</u>													
SUSPECTED OVERDOSE DEATH	2	1	5	2	1	0	1	0	4				16
CURRENT OPEN INVESTIGATIONS	22	20	21	25	22	23	22	25	24				
<u>OTHER ITEMS SEIZED</u>	1**	1* \$5,000 VALUE		** 1 Gun	** 1 Gun		** 1 Gun		**1 Gun				

Det. Sgt. Vilaznim Sadriu

9/30/2022

BRISTOL POLICE DEPARTMENT

Permits

FY 2022-2023

Pistol Permits	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	TOTAL
APPLICATIONS RECEIVED	24	32	44	0	0	0	0	0	0	0	0	0	100
APPLICATIONS COMPLETED	20	21	23	0	0	0	0	0	0	0	0	0	64
OTHER (OUT OF STATE ETC)	0	0	0	0	0	0	0	0	0	0	0	0	0
APPLICATIONS REJECTED	1	0	0	0	0	0	0	0	0	0	0	0	1
APPLICATIONS APPROVED	19	21	23	0	0	0	0	0	0	0	0	0	0
PERSONS FINGERPRINTED	24	32	44	0	0	0	0	0	0	0	0	0	100
FEES RECEIVED	\$1,680.00	\$2,240.00	\$3,080.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$7,000.00
Bingo Revenue	\$0.00	\$372.09	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$372.09
Other Permits													
APPLICATIONS RECEIVED	1	6	0	0	0	0	0	0	0	0	0	0	7
APPLICATIONS COMPLETED	1	6	0	0	0	0	0	0	0	0	0	0	7
APPLICATIONS REJECTED	0	0	0	0	0	0	0	0	0	0	0	0	0
APPLICATIONS APPROVED	1	6	0	0	0	0	0	0	0	0	0	0	0
FEES RECEIVED	\$75.00	\$25.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$100.00

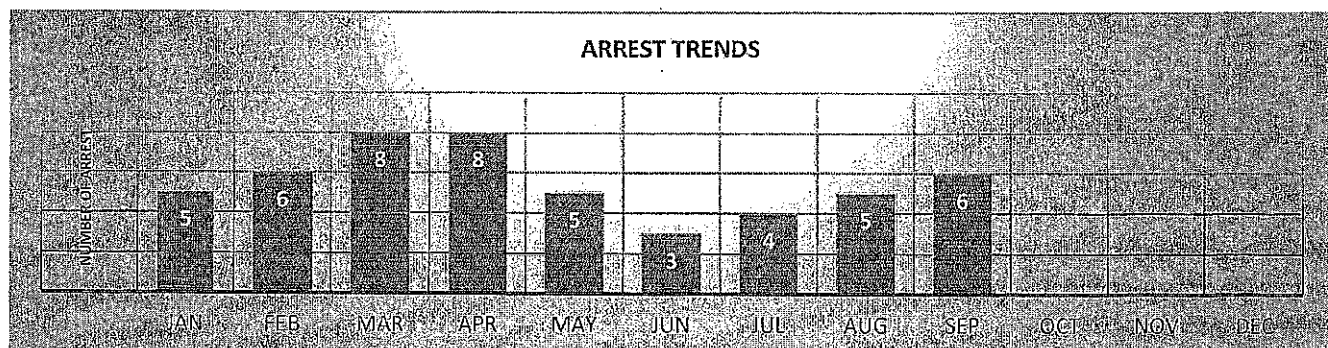
Submitted by: Det. Sgt John Sassu

BRISTOL POLICE DEPARTMENT

Community Relations Division

2022 Monthly Juvenile Arrest Report

ARREST STATISTICS:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD TOTAL
TOTAL JUVENILE ARREST	5	6	8	8	5	3	4	5	6				50
JRB REFERRAL	3	3		1	2			1	1				11
JUVENILE COURT REFERRAL	1	3	4	7	3	2	4	3	5				32
ADULT REFERRAL	1		1			1		1					7
MALE ARREST	1	5	5	3	4	3	4	3	3				31
FEMALE ARREST	4	1	3	5	1			2	3				19
REPEAT OFFENDER		2	1	1	1	3	2	1	2				13
MISDEMEANOR CHARGES	5	6	7	10	5	6		12	10				61
FELONY CHARGES			1	1	1	1	6	1	5				16
ALCOHOL OFFENSES													0
MARIJUANA OFFENSES		1			1								2
NARCOTICS OFFENSES													0
WEAPONS OFFENSES						1							2
RACE: WHITE	2	3	4	4	2		2	2	1				20
RACE: BLACK	1	1	1		1	1	2		1				8
RACE: HISPANIC	2	2	3	4	2	2		3	4				22
RACE: OTHER													0
AGE & SEX STATISTICS:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD TOTAL
AGE 8: MALE													0
FEMALE													0
AGE 9: MALE													0
FEMALE													0
AGE 10: MALE													0
FEMALE													0
AGE 11: MALE				1			1						2
FEMALE													0
AGE 12: MALE													0
FEMALE													0
AGE 13: MALE			1				2						3
FEMALE	2	1											3
AGE 14: MALE				1	3	2		1	2				9
FEMALE	1			2									3
AGE 15: MALE		1	1				1	1					4
FEMALE				1				1					2
AGE 16: MALE		3	2						1				6
FEMALE					1			1	1				3
AGE 17: MALE	1	1	1	1	1	1		1	1				8
FEMALE	1		3	2					1				7





Bristol Police Department
Community Relations Division

(860) 584-3044
131 North Main Street
Bristol, Connecticut 06010

October 4th, 2022

From: LT. Robert C. Osborne

To: Chief Brian Gould

Re: September 2022 Community Relations Report.

Chief,

During the month of September 2022 the following Community Relation Meetings were attended by this Lieutenant:

- Bristol Code Enforcement meeting.
- BEST Coalition meeting.
- Coffee with a Cop at Starbucks

A handwritten signature in black ink, appearing to read "Robert C. Osborne". The signature is fluid and cursive, with the first name "Robert" being more prominent.

LT. Robert C. Osborne
Community Relations Commander
Bristol Connecticut Police Department



Bristol Police Department
Community Relations Division

(860) 584-3044
131 North Main Street
Bristol, Connecticut 06010

October 4th, 2022

From: LT. Robert C. Osborne

To: Chief Brian Gould

Re: September 2022 Police Youth Cadet Report

Chief,

The Bristol Police Youth Cadet's conducted the following training for September 2022:

- Physical Fitness Training
- Emergency Response Training
- Parking Lot Duty and Roaming Patrol at St. Stans Festival
- Cover Letter and Resume preparation
- Parking Lot Duty and Roaming Patrol at German Festival Immanuel Lutheran
- Mum Festival Traffic Posts

A handwritten signature in black ink, appearing to read "Robert C. Osborne". The signature is stylized with a large, flowing "R" and "O".

LT. Robert C. Osborne
Community Relations Commander
Bristol Connecticut Police Department

BRISTOL POLICE DEPARTMENT

Animal Control Division

FY23 Animal Control Report

CALLS FOR SERVICE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MARCH	APRIL	MAY	JUNE	YTD
Roaming Dog/Found Dog	30	33	26										89
Barking Dog	8	11	9										28
Animal Bites	2	3	3										8
Report of Cruelty	16	12	13										41
Report of Rabies	2	4	3										9
Dead/Injured Animals	33	34	24										91
Violation of Law/Ordinance	3	6	7										16
Wildlife/Animal Concern	7	12	19										38
Assist other Agency	0	2	1										3
TOTAL CALLS FOR SERVICE	101	117	105	0	0	0	0	0	0	0	0	0	323
PUBLIC REQUEST FOR INFORMATION	211	229	220										
ENFORCEMENT													
Arrests	4	1	2										7
Written Warnings	9	11	10										30
ANIMALS													
Animals Impounded	17	16	9										42
Animals Destroyed by Vet	0	1	0										1
CITY REVENUE													
Animals Sold at \$5.00	\$0	\$0	\$0										\$0
*Animals Redeemed @ \$15 / \$20	\$185	\$160	\$155										\$500
Animals Quarantined @ \$10.00/day			\$100										\$100
TOTAL \$	\$185	\$160	\$255	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$600
STATE REVENUE													
Animal Population Control Program	\$225	\$90	\$270										\$585

Submitted by: Raymond Zagurski

Date: 9/6/22

*Redemption fees: unadvertised animal \$15/advertised animal \$20

**Violation of Law/Ordinance encompasses rooster ordinance complaints, failing to collect dog excrement, dogs off leash as well as feeding and

harassing wildlife.

***Public Requests For Information encompasses inquiries for adoptions, questions on laws, neutering and licensing as well as neighbor concerns regarding pets that are handled via telephone.

BRISTOL POLICE DEPARTMENT
Patrol Division

2022 Canine Monthly Report

	K9	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	TOTAL
BUILDING SEARCH:	BRONN	0	0	0	0	0	N/A	N/A	N/A	N/A				0
	HUNTER	2	1	1	0	0	0	1	0	2				7
MISSING PERSON SEARCH:	BRONN	0	0	0	0	0	N/A	N/A	N/A	N/A				0
	HUNTER	0	1	0	0	0	1	0	1	0				3
EVIDENCE SEARCH/NARCOTICS:	BRONN	0	0	0	0	0	N/A	N/A	N/A	N/A				0
	HUNTER	0	3	6	0	2	2	2	1	4				20
WARRANT SERVICE M/F:	BRONN	0	0	0	0	10	N/A	N/A	N/A	N/A				10
	HUNTER	0	2	0	0	0	3	0	0	3				8
SUSPECT TRACK:	BRONN	0	0	1	1	0	N/A	N/A	N/A	N/A				2
	HUNTER	0	1	0	0	0	1	0	2	3				4
SUSPECT BITE:	BRONN	0	0	0	2	0	N/A	N/A	N/A	N/A				2
	HUNTER	0	0	0	0	0	0	0	0	0				0
PUBLIC PRESENTATION:	BRONN	0	0	0	1	3	N/A	N/A	N/A	N/A				4
	HUNTER	0	0	0	0	4	0	2	1	0				7
ASSIST OTHER AGENCY:	BRONN	0	0	1	0	0	N/A	N/A	N/A	N/A				1
	HUNTER	0	1	1	0	0	0	0	1	0				3
MOTOR VEHICLE STOPS	BRONN	2	0	2	2	1	N/A	9	1	N/A				17
	HUNTER	1	6	5	2	4	7	5	12	5				47

Submitted by: Lt. Eric Hanson 217
Date submitted: 10/05/2022



Bristol Police Department
Traffic Division

(860) 584-3030
131 North Main Street
Bristol, Connecticut 06010

To: Deputy Chief Moskowitz
From: Lieutenant Krajewski
Date: 10/4/22
RE: September Monthly Traffic Division Statistic Report

Special Events:

During the month of September, Bristol holds its annual Mum Festival. This was the 60th anniversary of the Mum Festival and it was held on the Memorial Boulevard and school field. Members of the traffic division participated in the opening ceremony, as a member of the honor guard for posting of the American Flag. They also participated community interaction event, "Touch a Truck" where we displayed a police motorcycle and police SUV vehicle. On Sunday, September 25th, the Mum Festival parade was held in the downtown area, which resulted in many road closures in the downtown area. The parade detour route and closures were organized by the traffic division. The road closures and detours were posted by as many as 15 officers and other volunteers along the route. Prior to the event, all four message sign trailers were placed out along the area to inform drivers of the upcoming event and to expect closures and detours.

Serious Traffic Accidents:

Open Cases:

1. Case #22-2177 (1/19/22) – This was a fatal motor vehicle accident on Jerome Avenue where a vehicle struck a pedestrian walking in the roadway. The investigating officer has completed the investigation and completed an arrest warrant, which is currently being reviewed by the court.
2. Case #22-19414 (6/11/22) – A single motorcycle left the roadway while traveling eastbound on James P Casey Road at Hill Street. Upon leaving the roadway, the motorcycle struck a guardrail and continued into a utility pole. The operator was transported by LifeStar to an area hospital where he is recovering from serious, life changing injuries. The investigation is on-going.
3. Case #22-21652 (7/1/22) – A two vehicle crash on Farmington Avenue at Camp Street. A vehicle exited a business parking lot and was struck by a vehicle on Farmington Avenue. The driver of the vehicle exiting the business parking lot was killed in this crash. The investigation is on-going and several interviews have been conducted. Several search warrants have been drafted and served to aide in this investigation.
4. Case #22-23384 (7/14/22) – A motor vehicle versus pedestrian crash on Middle Street. A pedestrian was struck while in the travel portion of the roadway. The driver stopped and waited for police. The pedestrian was killed in this crash. This investigation is on-going and search warrants have been drafted and served to aide in this investigation.



Bristol Police Department
Traffic Division

(860) 584-3030
131 North Main Street
Bristol, Connecticut 06010

5. Case #22-28631 (8/20/22) – A motorcycle was traveling eastbound on Redstone Hill Road and had just crossed over Emmett Street, where the rider failed to negotiate a curve in the roadway and crashed. The rider died as a result of this crash. This investigation is on-going and a mechanical inspection will be completed to determine if mechanical failure was a factor.

Traffic Studies (routine):

Requests for traffic enforcement were received for Castle Road and Summer Street for speeding vehicles. Speed measuring signs were placed out for these requests to monitor traffic for approximately one week. After, the data was downloaded and analyzed, which determined that speed was not a factor for either roadway. Contact was made with each complainant and the information was explained to them.

Additional Assignments:

In addition, the Traffic Division officers are tasked with the daily maintenance of the fleet, child car seat installations as well as assisting other divisions within the police department and throughout the city.

Miscellaneous Information:

Two new officers were selected for the traffic division from the patrol division to replace those who promoted out of the division. They are expected to be transferred into the division in the coming weeks.



BRISTOL POLICE DEPARTMENT

Awards Committee

October 4, 2022

PRESENT:

Commissioner Ghio
Deputy Chief Matt Moskowitz
Sergeant George Franek
Officer Brian Bonati
Officer James Pelletier
Jillian Chase
Keith Rondini
Dispatcher Christopher Atwood

ABSENT:

Lieutenant Jason Warner
Officer Jace Deluca
Officer Eddie Rivera
Detective Todd Lavallee

1. CALL TO ORDER

Deputy Chief Moskowitz called the awards meeting to order at 9:21 A.M.

2. PUBLIC PARTICIPATION

No public participation

3. CONSIDERATION OF THE MINUTES

Sergeant Franek made a motion to approve the minutes from the September 6, 2022 meeting, second by Officer Pelletier.

VOTE: Unanimously Passed

4. NOMINATIONS OF AWARDS

Dispatcher Atwood made a motion to give The Letter of Commendation (22-26) to Officer Jacobs, Officer Giannini and Officer Pollock, second by Sergeant Franek.

VOTE: Unanimously Passed

Officer Pelletier made a motion to give The Life Saving Award (22-27) to Officer Hogan, second by Sergeant Franek.

VOTE: Unanimously Passed

Sergeant Franek made a motion to give The Letter of Commendation (22-28) to Dispatcher Krawiec, Dispatcher Chartier and Dispatcher Belli second by Officer Pelletier.

VOTE: Unanimously Passed

Discussion held regarding 22-29 The Life Saving Award for Officers Parracino, Monahan, Kosikowski, McNally, Nelson and Duncan. The committee requested more information regarding the case. Award tabled until next month's meeting.

VOTE: Unanimously Passed

Officer Pelletier made a motion to give The Distinguished Citizen's Award (22-30) to John Paradis, second by Dispatcher Atwood.

VOTE: Unanimously Passed

5. **EMPLOYEE OF THE MONTH**

Dispatcher Atwood made a motion to award Officer Jacobs, Officer Giannini and Officer Pollock Officers of the Month for the month of September, second by Sergeant Franek.

6. **OLD BUSINESS**

None

7. **NEW BUSINESS**

None

8. **ADJOURNMENT**

Officer Pelletier moved to adjourn, second by Keith Rondini.

VOTE: Unanimously Passed

The Awards Committee meeting for the 4th day of October 2022, was hereby adjourned at 9:46 A.M.

Jillian Chase

Recording Secretary

**MARWOOD CONDOMINIUMS
BETHS AVENUE
BRISTOL, CT 06010**

**Greetings Chief Gould,
I hope this finds you well.**

**Our Association is once again requesting the parking waiver from
(December 15, 2022 to March 15, 2023), which allows us to park on Beths
Avenue during that period. Our Residents must comply with certain rules
in order for us to retain this waiver. They include but are not limited to the
following:**

There is no parking on the street if:

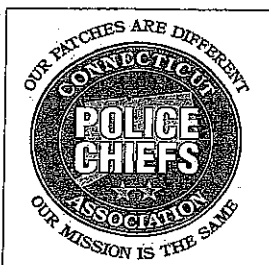
There is a Citywide Parking Ban in place or it is snowing.

**We have been fortunate to have this waiver for many years with no
problems.**

Thank you for your time and consideration with this matter.

**Respectfully,
Laura Maglio**

**President
Marwood Condominiums
35 Beths Ave, Unit 63
Bristol, Conn. 06010
Phone (860) 584-2651
9/28/2022**



CONNECTICUT POLICE CHIEFS ASSOCIATION

365 Silas Deane Highway, Suite 1A, Wethersfield, Connecticut 06109

(860) 757-3909 Fax: (860) 436-6054

Web site: www.cpcanet.org

September 28, 2022

Chief Brian Gould
Bristol Police Department
131 North Main Street
Bristol, CT 06010

Re: Serve Well-Be Well Award Recognition

Dear Chief Gould,

I'm pleased to notify you that the Bristol Police Department has been selected by the CPCA Officer Wellness Committee as a 2022 recipient of the committee's Serve Well-Be Well recognition award. Your department has demonstrated a commitment to the wellness of its officers in your policies and practices and is most deserving of this recognition.

The award will be presented at the CPCA Officer Wellness Symposium on Thursday October 6, 2022, at noon at Alexion Pharmaceuticals, 100 College Street, New Haven, Connecticut. I hope you and/or your designee can attend the presentation of awards on October 6.

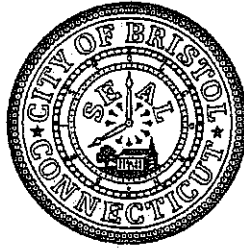
The CPCA Officer Wellness Committee is committed to supporting and educating Connecticut's law enforcement officers in their efforts to remain healthy and well, "from hire to retire and beyond". The committee commends you and the men and women of the Bristol Police Department for your efforts in service to your officers and your community.

Sincerely,

Chief John J. Rich

Chief John J. Rich, Chairman
Connecticut Police Chiefs Association
Officer Wellness Committee

Cc: Pamela Hayes, Executive Director



CITY OF BRISTOL
BOARD OF FINANCE AGENDA REQUEST FORM

To: Board of Finance Commissioners

From: Board of Police Commissioners
(Requesting Department)

Date: September 22, 2022
(Submission Date)

For the October 25, 2022 Board of Finance Meeting Agenda
(Date of Meeting)

This request is for:
(Please check the type of request and list in whole dollar amounts)

☒ Additional Appropriation \$36,000

☒ Transfer from Contingency \$18,000

☐ Transfer(s) \$ _____

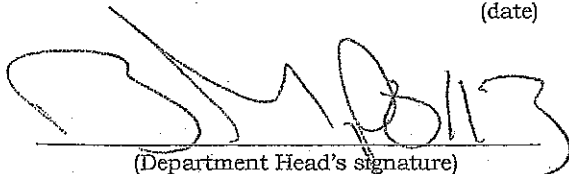
☒ Grant \$18,000

☐ Carry-over(s) \$ _____

☐ Other

Approval:

This request was approved by the Board of Police Commissioners
(governing Board of your department)
at its meeting held on October 18, 2022.
(date)


(Department Head's signature)

All requests to appear on the Board of Finance meeting agenda for consideration must be submitted to Jodi McGrane in the Comptroller's Office by 10:00 a.m. Monday of the preceding week of the meeting. Board of Finance Meetings are held on the fourth Tuesday of each month at 5:30 p.m. in the Council Chambers.

Board of Finance Agenda Request Form

Reason for request:

To approve the transfer of funds for the U.S. Dept. of Justice 2022 Bulletproof Vest Partnership Grant. The Grant provides funding for 50% of the cost of bulletproof vests for police officers. The \$36,000 is the total cost for the vests to be purchased as new or replacement items. \$18,000 is the amount which the Grant will reimburse the City.

Additional Appropriation(s) and/or Appropriation(s) complete the following:

Account	Account Name	Amount
1062110-431067-23G07	Bulletproof Vests	\$18,000
1062110-490001-23G07	Transfer in General Fund	\$18,000
1062110-570900-23G07	Bulletproof Vests	\$36,000

Transfer(s) complete the following:

From: 0018106-589000 Contingency	To: 0018108-591100 Transfers Out-Spec Revenue	Amount: \$18,000
From: _____	To: _____	Amount: _____
From: _____	To: _____	Amount: _____

Grants:

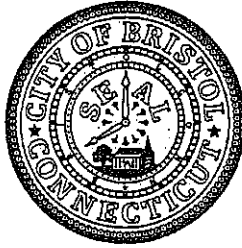
Total Amount: Grant \$36,000

City Share \$18,000 50 %

Federal/State Share \$ \$18,000 50 %

Carry-overs list the following:

Account	Account Name	Amount
_____	_____	_____
_____	_____	_____



**CITY OF BRISTOL
BOARD OF FINANCE AGENDA REQUEST FORM**

To: Board of Finance Commissioners

From: Bristol Police Department
(Requesting Department)

Date: September 28, 2022
(Submission Date)

For the October 25, 2022 Board of Finance Meeting Agenda
(Date of Meeting)

This request is for:

(Please check the type of request and list in whole dollar amounts)

- ☒ Additional Appropriation \$55,145
- ☐ Transfer from Contingency \$
- ☒ Transfer(s) \$2,000
- ☐ Grant \$
- ☐ Carry-over(s) \$
- ☐ Other

Approval:

This request was approved by the Board of Police Commissioners
(governing Board of your department)
at its meeting held on October 18, 2022.
(date)

A handwritten signature in black ink, appearing to be "Jodi McGrane", is written over a horizontal line.

(Department Head's signature)

All requests to appear on the Board of Finance meeting agenda for consideration must be submitted to Jodi McGrane in the Comptroller's Office by 10:00 a.m. Monday of the preceding week of the meeting. Board of Finance Meetings are held on the fourth Tuesday of each month at 5:30 p.m. in the Council Chambers.

Board of Finance Agenda Request Form

Reason for request

Additional Appropriation to cover the overage in the following Asset Forfeiture accounts: Professional fees, training, program supplies and medical insurance.

Transfers: The purpose of this request to transfer funds from Communications other capital outlay to Communications program supplies.

Additional Appropriation(s) and/or Appropriation(s) complete the following:

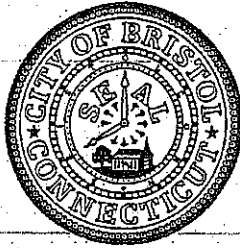
Account	Account Name	Amount
1232110-431085	Drug Forfeiture – Federal	\$52,525
1232110-531000	Professional Fees	\$12,000
1232110-531140	Training	\$20,000
1232110-561800	Program Supplies	\$15,000
1232110-544400	Rents & Leases	\$7,620
1232110-520750-DEAVO	Medical Ins.	\$225
1232110-520750-DEAKO	Medical Ins.	\$300

Transfer(s) complete the following:

From:	1062115-570900 COMMUNICATIONS OTHER CAPITAL OUTLAY	To:	1062115-561800 COMMUNICATIONS PROGAM SUPPLIES	Amount:	\$2,000
From:		To:		Amount:	
From:		To:		Amount:	

Grants:

Total Amount: Grant \$



CITY OF BRISTOL
BOARD OF FINANCE AGENDA REQUEST FORM

To: Board of Finance Commissioners

From: Bristol Police Department
(Requesting Department)

Date: September 28, 2022
(Submission Date)

For the October 25, 2022 Board of Finance Meeting Agenda
(Date of Meeting)

This request is for:
(Please check the type of request and list in whole dollar amounts)

- ☐ Additional Appropriation \$ 3,260
- ☐ Transfer from Contingency \$ _____
- ☐ Transfer(s) \$ _____
- ☐ Grant \$ _____
- ☐ Carry-over(s) \$ _____

☐ Other

Approval:

This request was approved by the Board of Police Commissioners
(governing Board of your department)
at its meeting held on October 18, 2022.
(date)

A handwritten signature in black ink, appearing to be "Jodi McGrane", is written over a horizontal line.

(Department Head's signature)

All requests to appear on the Board of Finance meeting agenda for consideration must be submitted to Jodi McGrane in the Comptroller's Office by 10:00 a.m. Monday of the preceding week of the meeting. Board of Finance Meetings are held on the fourth Tuesday of each month at 5:30 p.m. in the Council Chambers.

Board of Finance Agenda Request Form

Reason for request

Additional Appropriation to appropriate money from Police Contributions to Police Miscellaneous.

Additional Appropriation(s) and/or Appropriation(s) complete the following:

Account	Account Name	Amount
1062110-470000	Police Contributions	\$3,260
1062110-589100	Police Miscellaneous	\$3,260

Transfer(s) complete the following:

From:	To:	Amount:
From: _____	To: _____	Amount: _____
From: _____	To: _____	Amount: _____
From: _____	To: _____	Amount: _____

Grants:

Total Amount: Grant \$ _____

City Share \$ _____ %

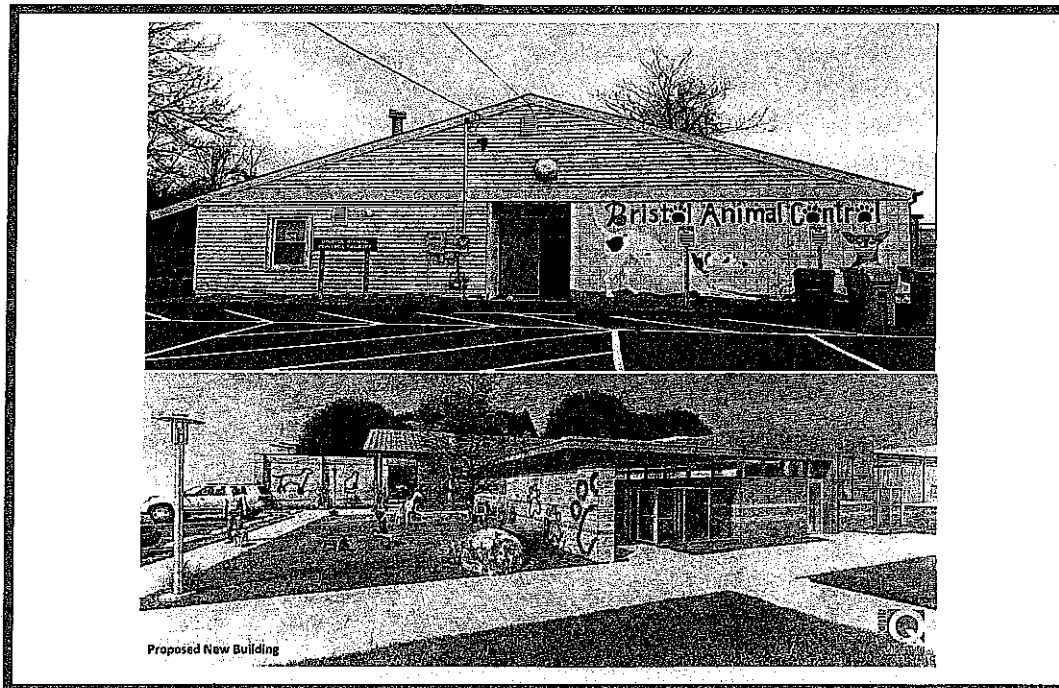
Federal/State Share \$ _____ %

Carry-overs list the following:

Account	Account Name	Amount



Bristol Animal Control
126 Vincent P Kelly Rd
Bristol, CT
MEP & Building Assessment



Prepared for:

Raymond Rogozinski
Director of Public Works
111 North Main Street
Bristol, CT 06010
Date: August 12, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc.
10 Talcott Notch Road
Farmington, CT 06032

Project Number 2021200.00



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Appendix B- Cost Estimates (KEHES Group LTD)

Appendix D- Schematic Design Narrative

Appendix C- Existing Building HVAC Drawings

I. EXECUTIVE SUMMARY

A. INTRODUCTION

van Zelm was hired as an independent consultant to perform an evaluation of Mechanical, Electrical, and Plumbing Systems (MEP) at the Bristol Animal Control Facility located at 126 Vincent P Kelly Rd, Bristol, CT 06010. This report details the process that was undertaken to perform this evaluation along with details related to renovating or replacing the existing building.

B. EXISTING BUILDING INFORMATION

Existing Building Details	
Date Constructed	1977
Dates of Major Renovation	N/A
Square Footage	2,355 sq. ft.
Number of Floors	One
Floors below grade	None



Figure 1-Front view of existing building

C. SCOPE OF WORK

The following items outline the general scope of work that was performed as part of the overall building evaluation:

MEP Evaluation

vanZelm performed a comprehensive evaluation of the existing MEP Systems. We began our evaluation first by reviewing the Animal Facility available design documentation (see appendix) and then compared that to our field gathered data to identify currently installed HVAC systems, operation, and overall



equipment condition. With building use and space occupancy in mind, our field work focused mostly with details on the mechanical systems that provide ventilation, temperature, and humidity control to the various spaces.

As part of the scope related to a potential renovation, we provided details to bring the building up to code in terms of ventilation and air change rates.

Load calculations were generated, and various equipment was selected to allow for accurate cost estimating.

Architectural Evaluation:

In order for the building to be properly evaluated, the services of an architectural firm were needed, particularly with respect to the building envelope. There is a big concern with moisture and condensation forming should air conditioning be installed. Studio Q was hired as a consultant to vanZelm to perform this evaluation. A complete assessment of the existing building envelope and recommendation for repairs/new moisture protection (siding and changes to existing grade conditions). Studio Q provided recommendation for thermal improvements to the existing structure to allow for compliance with the IBC and the IECC (Energy Code).

Studio Q also provided detailed schematic drawings and specs which outline the work needed in the existing building. These details were necessary in order to come up with an accurate cost estimate for the renovation work.

New Building Design:

Studio Q also provided drawings and details for the construction a new building, which would be much larger than the existing structure.

Cost Estimating:

The City of Bristol engaged KEHES Group, LTD to provide the cost estimates for the following options:

- *Option 1- Renovate Existing Building (2,355 Sq. Ft)*
- *Option 2- Construct New Building (4,015 Sq. Ft)*
- *Option 3- Replace Existing Building in Kind (2,355 Sq. Ft)*

Project Meetings & Presentations:

vanZelm and Studio Q held several meetings with the City of Bristol personnel and the stakeholders. During these meetings and presentations (see appendix), feedback was given to help vanZelm and Studio Q develop a basis of design for the new building option. The City of Bristol personnel and its stakeholders were very instrumental in the process and the feedback was very helpful to get us to a framework for this new design.



D. FINDINGS

Our evaluation has uncovered many issues and deficiencies within the existing building. A summary of the more notable items are as follows:

Interior/Envelope:

1. Ground water is seeping up from the slab and causing moisture issues.
2. Building envelope needs repairs, including siding and wood trim.
3. It would not be appropriate to add air conditioning to the building until insulation and proper vapor barriers are installed.
4. There is wood lath installed below grade, which needs to be corrected (new concrete curb and crushed stone, etc.).
5. Appears that more outdoor runs are needed. If new outdoor run kennels are installed, they must be covered based on dog pound regulations section 22-336-7 (d).

MEP Systems:

6. HVAC Systems are beyond their useful life and should be replaced (includes gas fired condensing gas furnace servicing staff areas).
7. Kennels do not have the ability to supply tempered makeup air to the space, (only have one exhaust fan that serves the 3 kennels).
8. If additional HVAC systems are to be installed, upgrades to the electrical and gas services would be required to support this additional equipment.
9. Currently there does not appear to be any alarms to notify the city if interior temps are too cold or too warm.

E. OPINION OF PROBABLE COST

van Zelm has received the construction cost estimates from Scott Kopraski (KEHES Group, LTD), and we have spoken with Ron Quicquaro from Studio Q to provide the City of Bristol a budget estimate for the A/E Fee's. Cost breakdown is as follows:

TABLE 1-PRICING BREAKDOWN				
	Option 1-Renovate Existing Building	Option 2-New Facility	Option 3-Replace Existing in Kind	Notes
Square Footage	2,355 sq. ft.	4,015 sq. ft.	2,355 sq. ft.	
Construction Costs	\$985,232	\$2,583,708	\$1,675,184	from KEHES
Contingency	114,768	216,292	124,816	
Subtotal	1,100,000	2,800,000	1,800,000	
A/E Fee's*	\$128,080	\$232,534	\$167,518	Architecture, MEP, Furniture, Civil, Structural.
Grand Total	\$1,228,080	\$3,032,534	\$1,967,518	
Cost per SF	\$521	\$755	\$835	
* After 12 months, add 1.6% to A/E Fees				

II. PHOTOS



Photo 1-Aerial View of existing building



Photo 2-Siding Damage

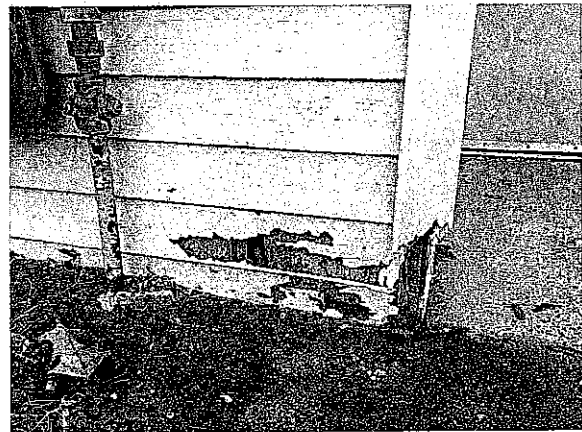


Photo 3-Wood below grade

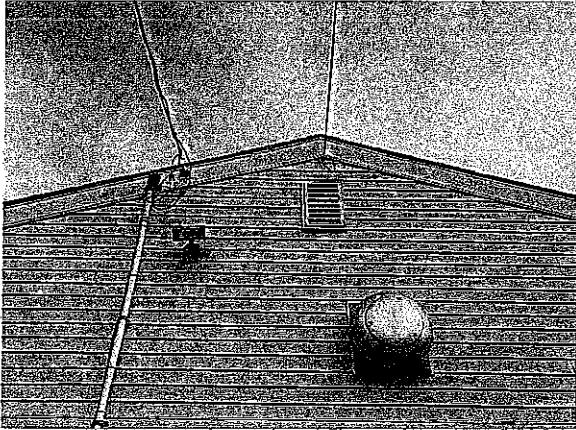


Photo 4-Exhaust Fan#1



Photo 5- Exhaust Fan#2

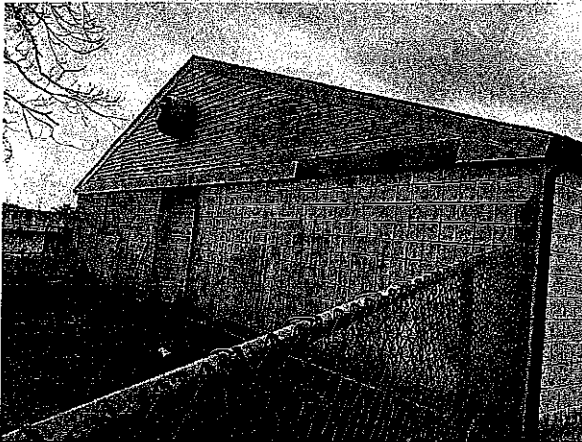


Photo 6-Siding Damage

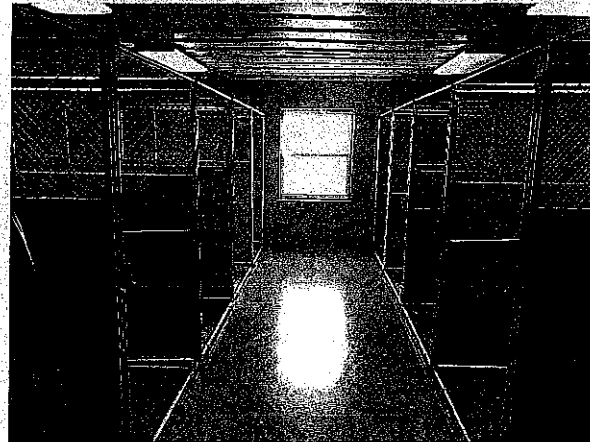


Photo 7-Interior Kennels

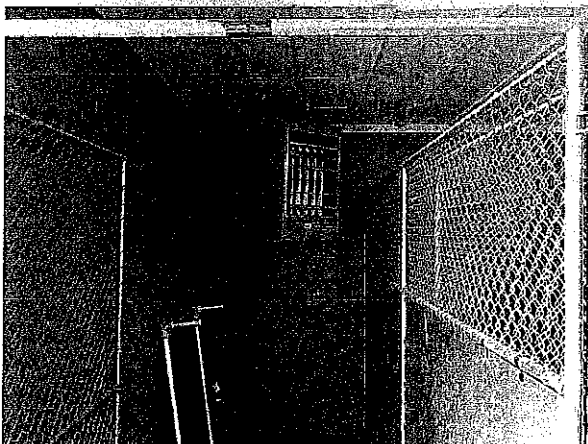


Photo 8-Gas Fire Unit Heater

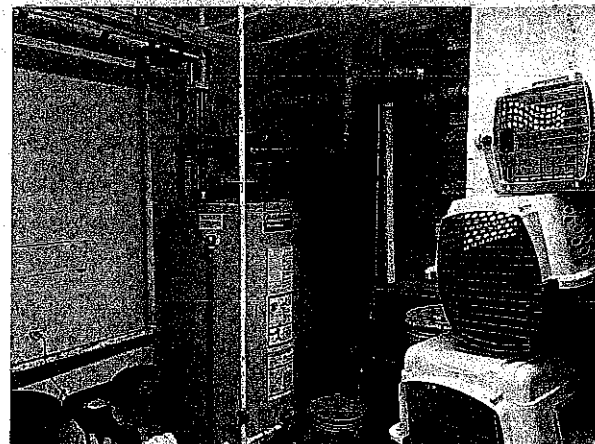


Photo 9-Water Heater



Photo 10-100A Electrical Service

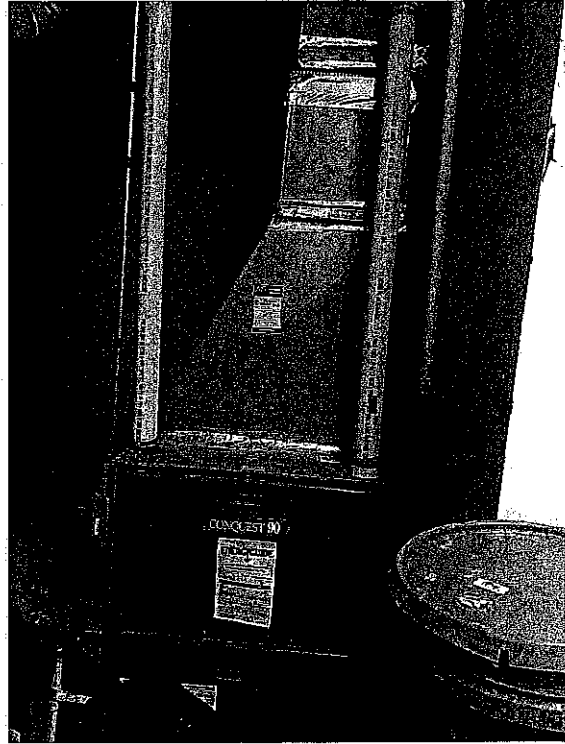


Photo 11-Gas Furnace (2005 vintage)

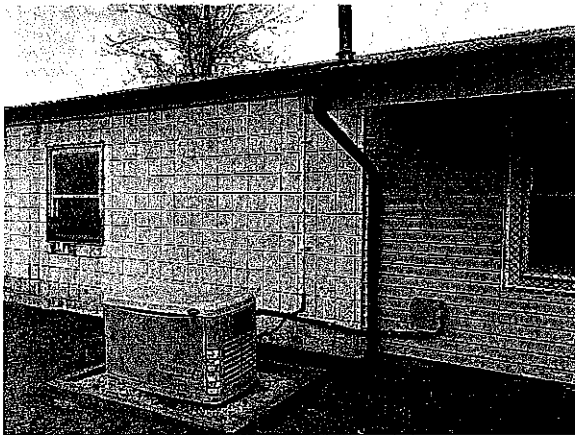


Photo 12-Gas Fired Generator

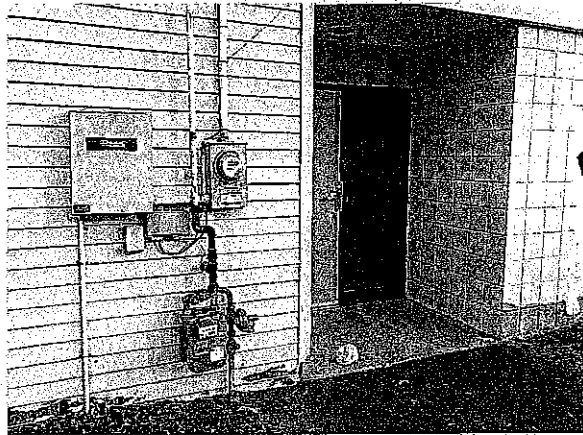
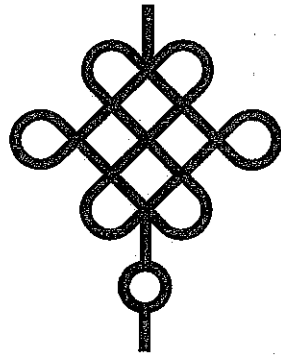


Photo 13-Gas & Electric Meter Location



Appendix A

Concept Drawings

A Presentation For:

Bristol Animal Control

Hearts United

HVAC Renovation Study

Vincent P Kelly Rd,
Bristol, CT

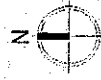
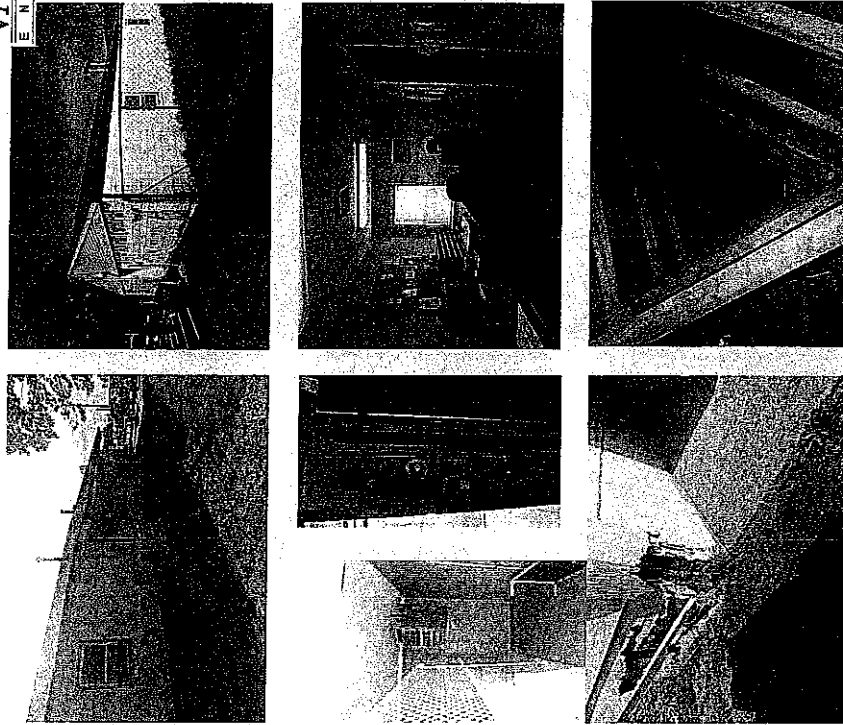
7-12-22

VANZELM
ENGINEERS

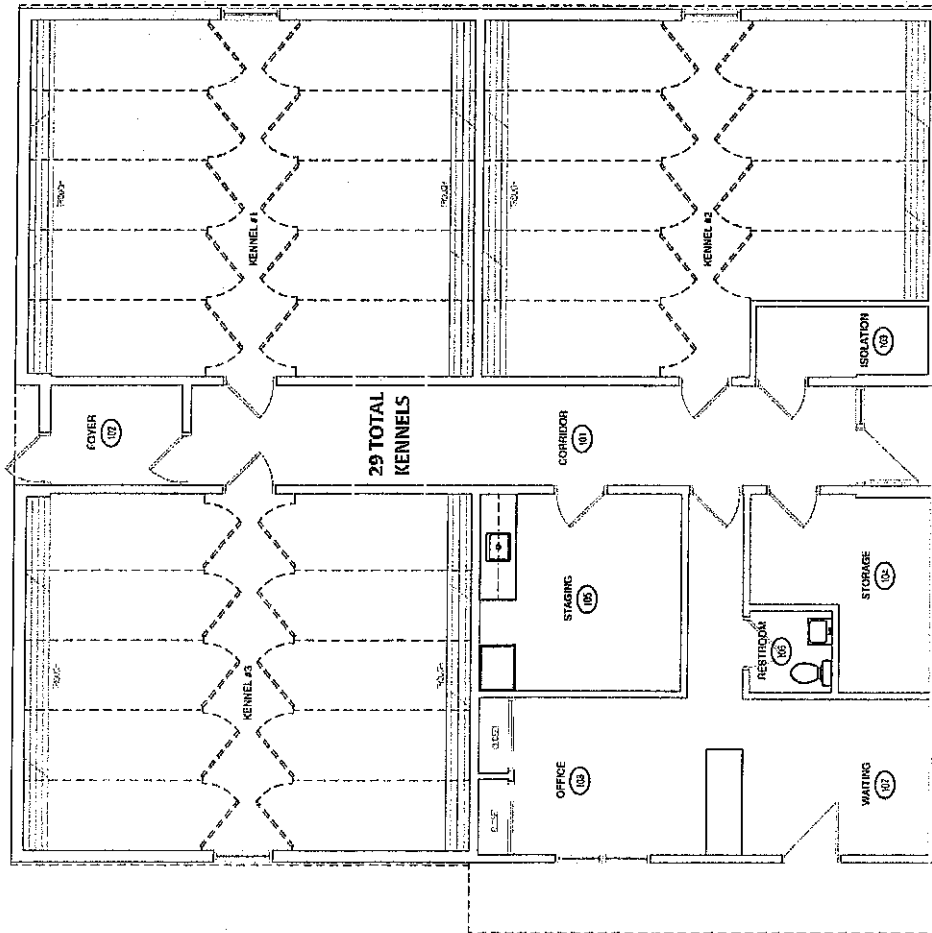


We Develop Your Future

EXISTING CONDITIONS

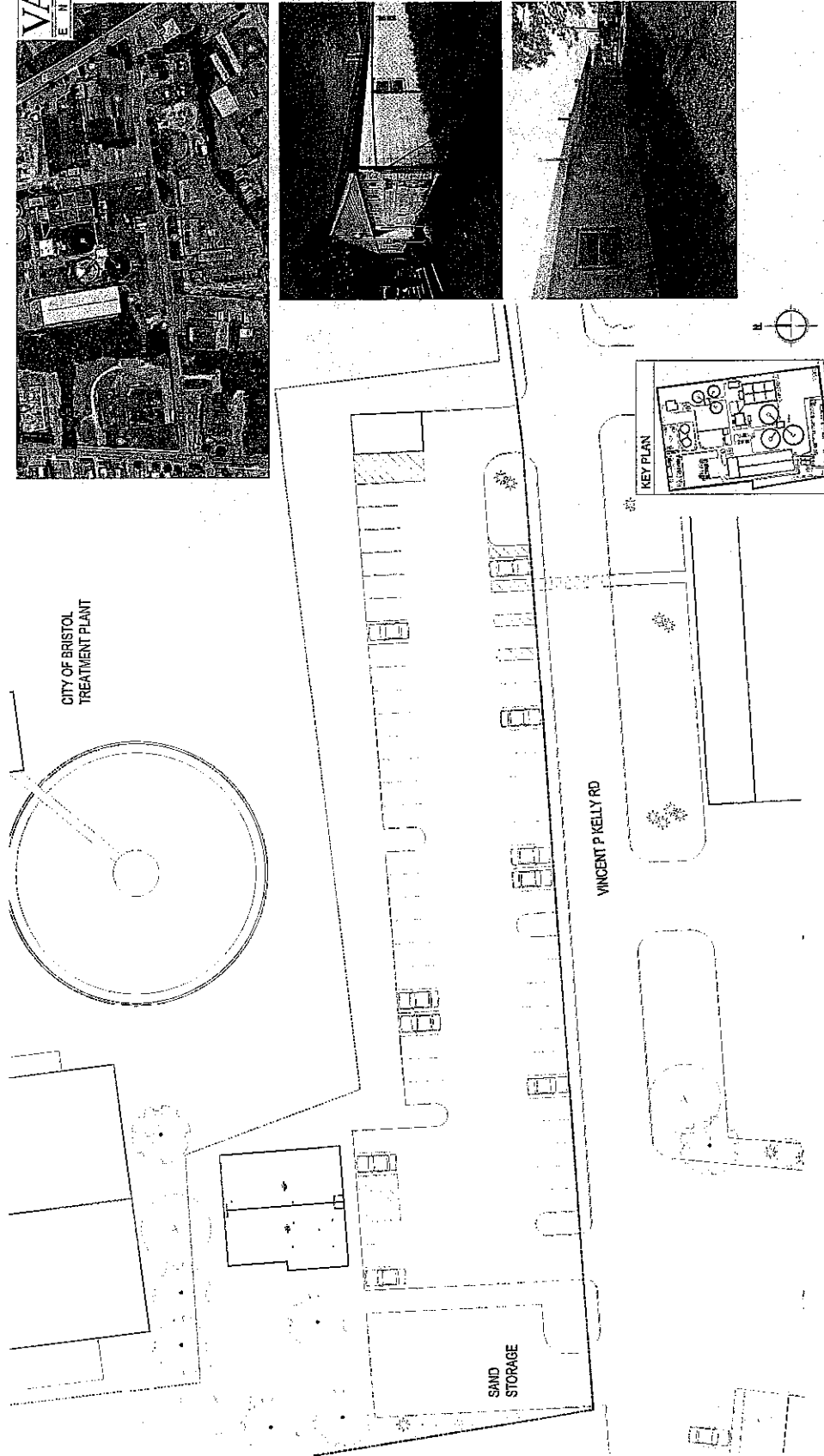


2355 SQ FT
29 TOTAL KENNELS

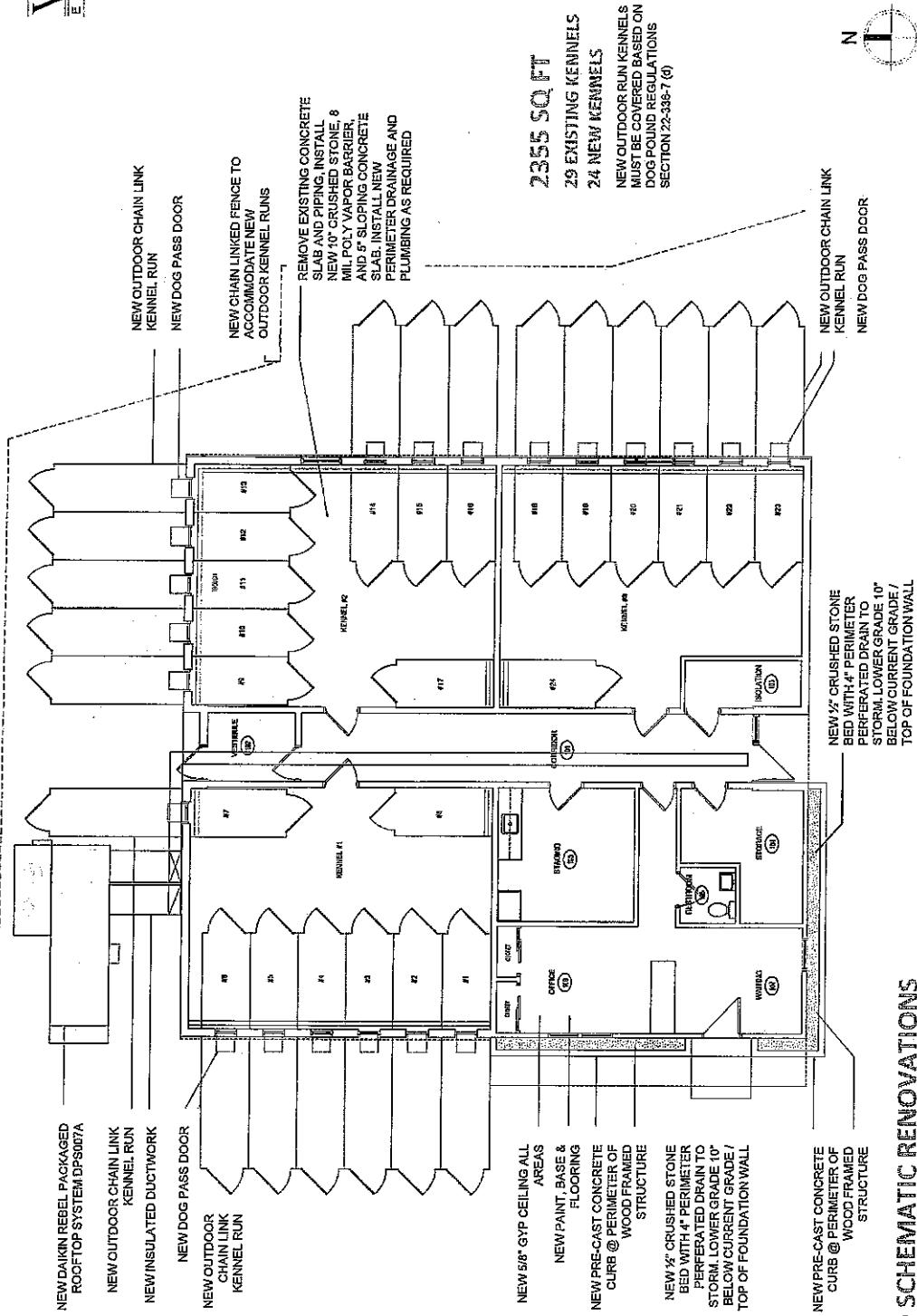


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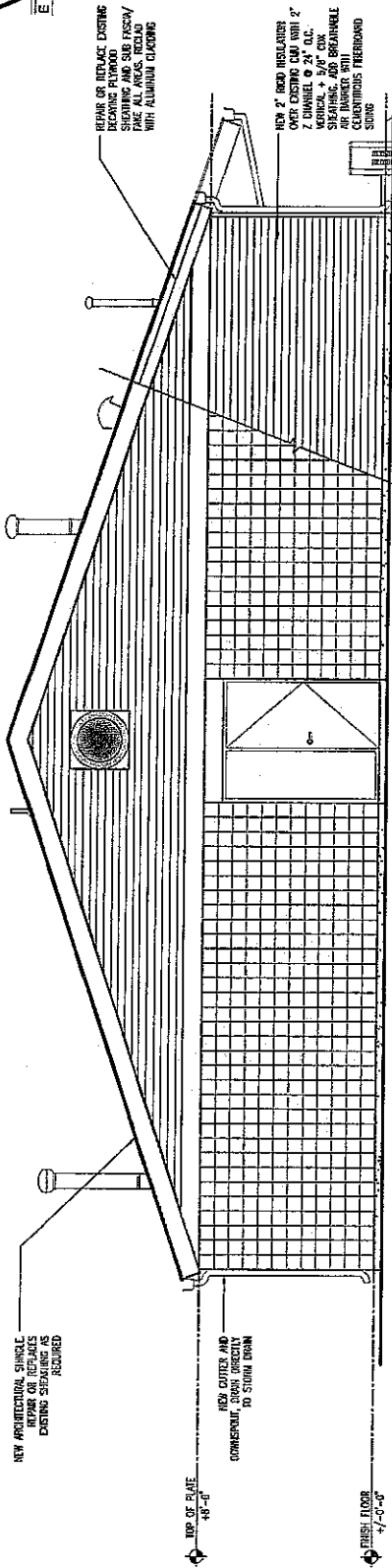
EXISTING CONDITIONS



EXISTING CONDITIONS

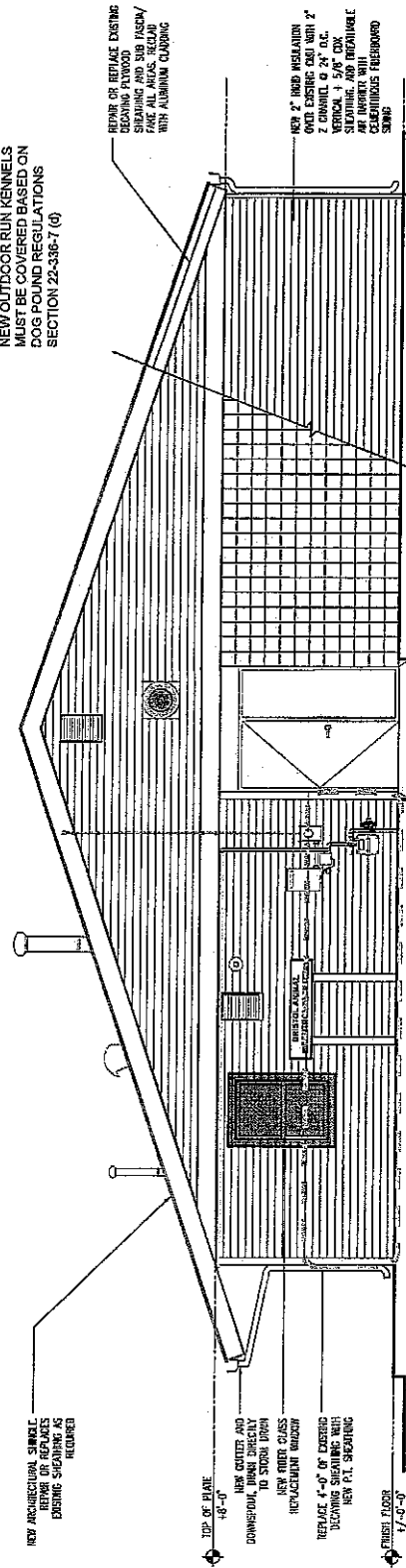




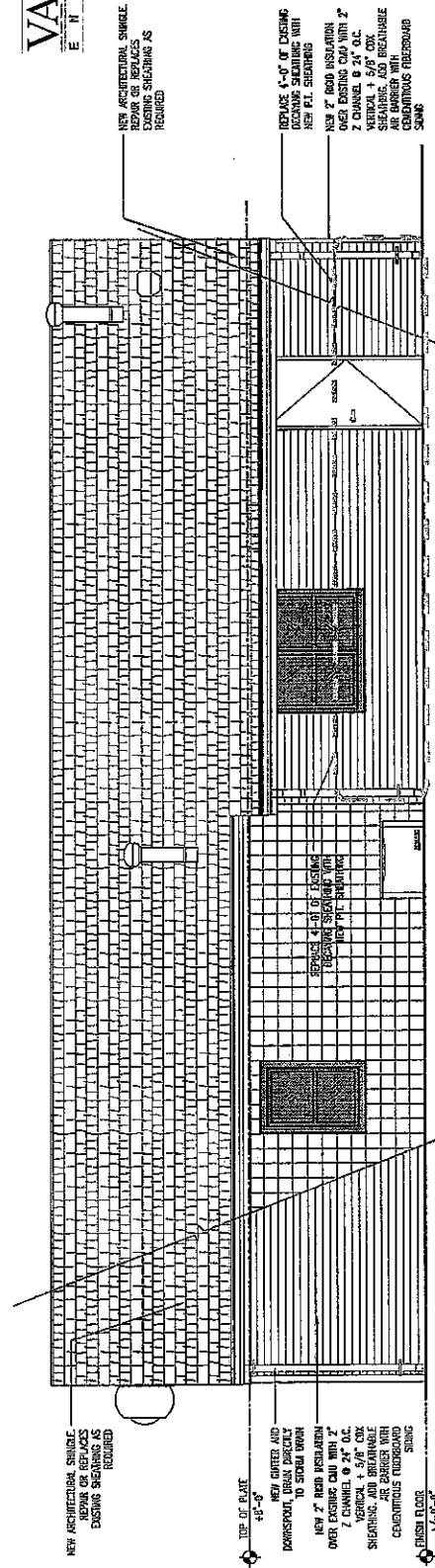


2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

NEW OUTDOOR RUN KENNELS
MUST BE COVERED BASED ON
DOG POUND REGULATIONS
SECTION 22-386-7 (d)

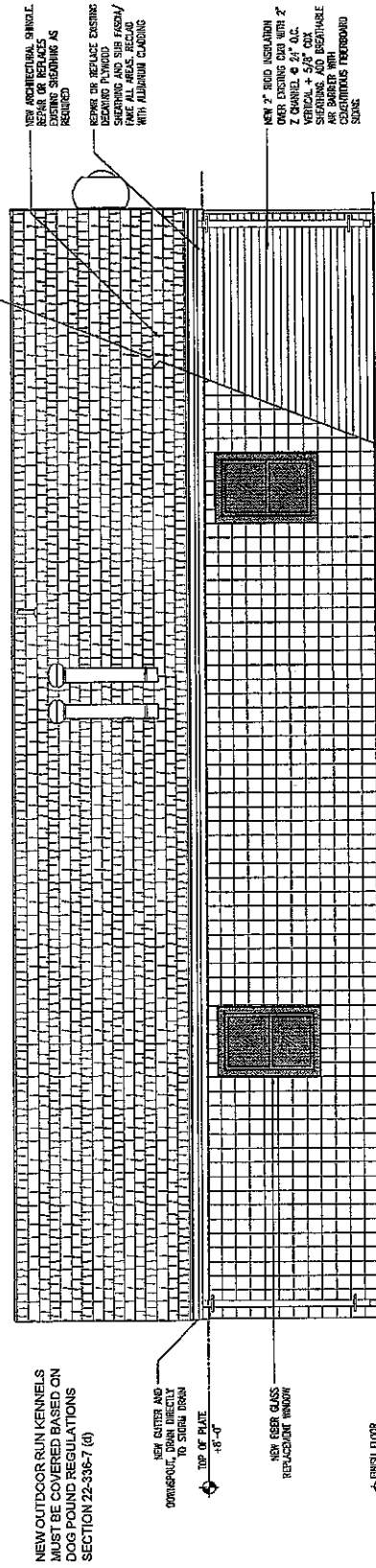


1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



4 WEST ELEVATION

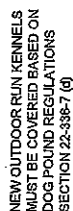
SCALE: 1/4"=1'-0"



3 EAST ELEVATION

SCALE: 1/4"=1'-0"

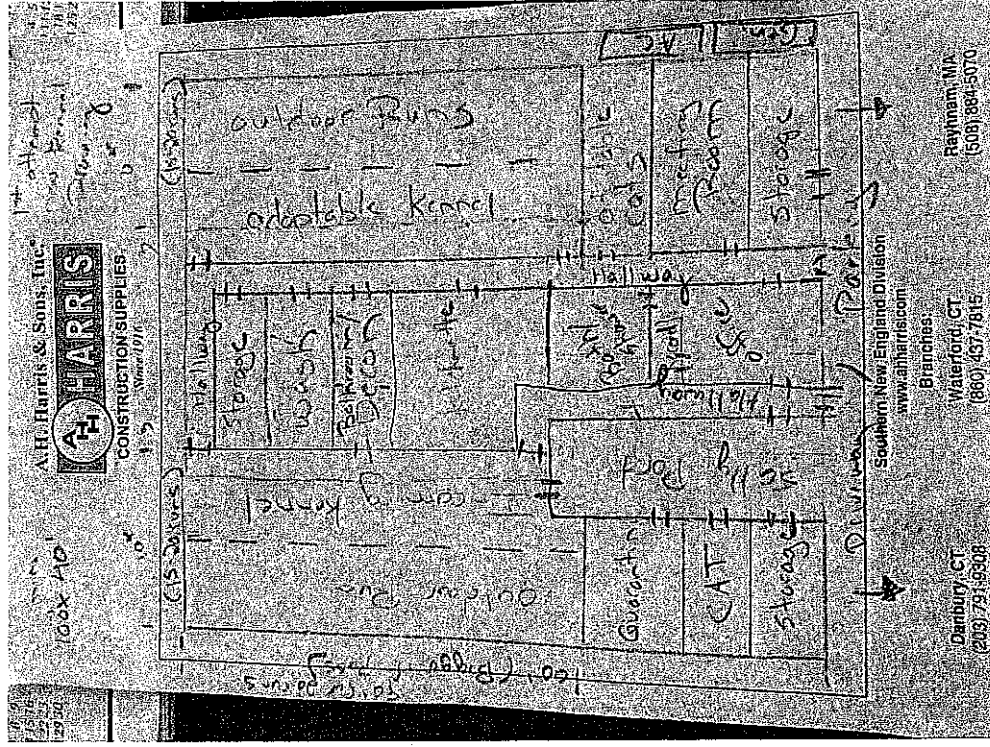
NEW OUTDOOR RAIN KARNELS
MUST BE COVERED BASED ON
DOG POUND REGULATIONS
SECTION 22-336-7 (d)

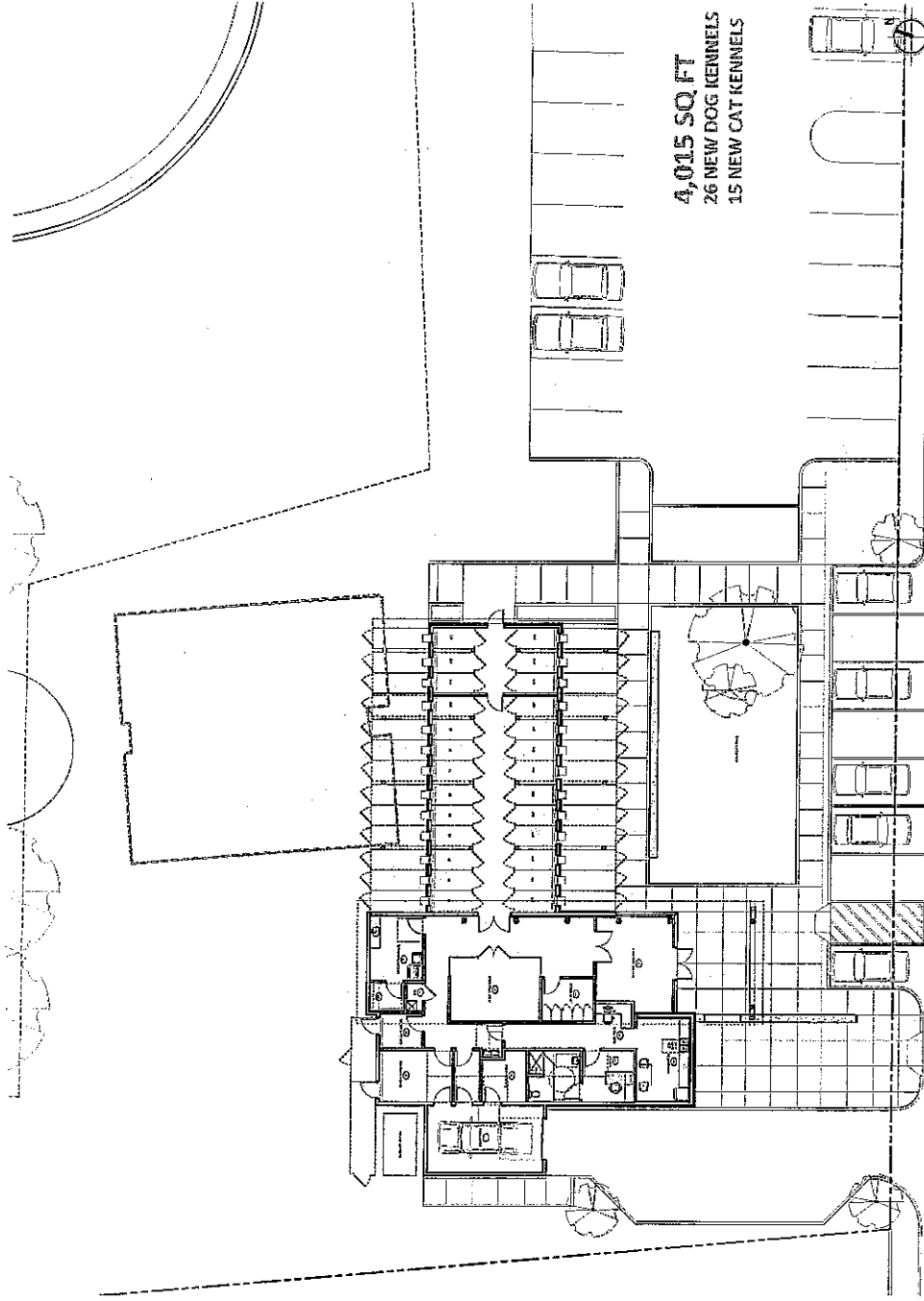


PROGRAM REQUEST:

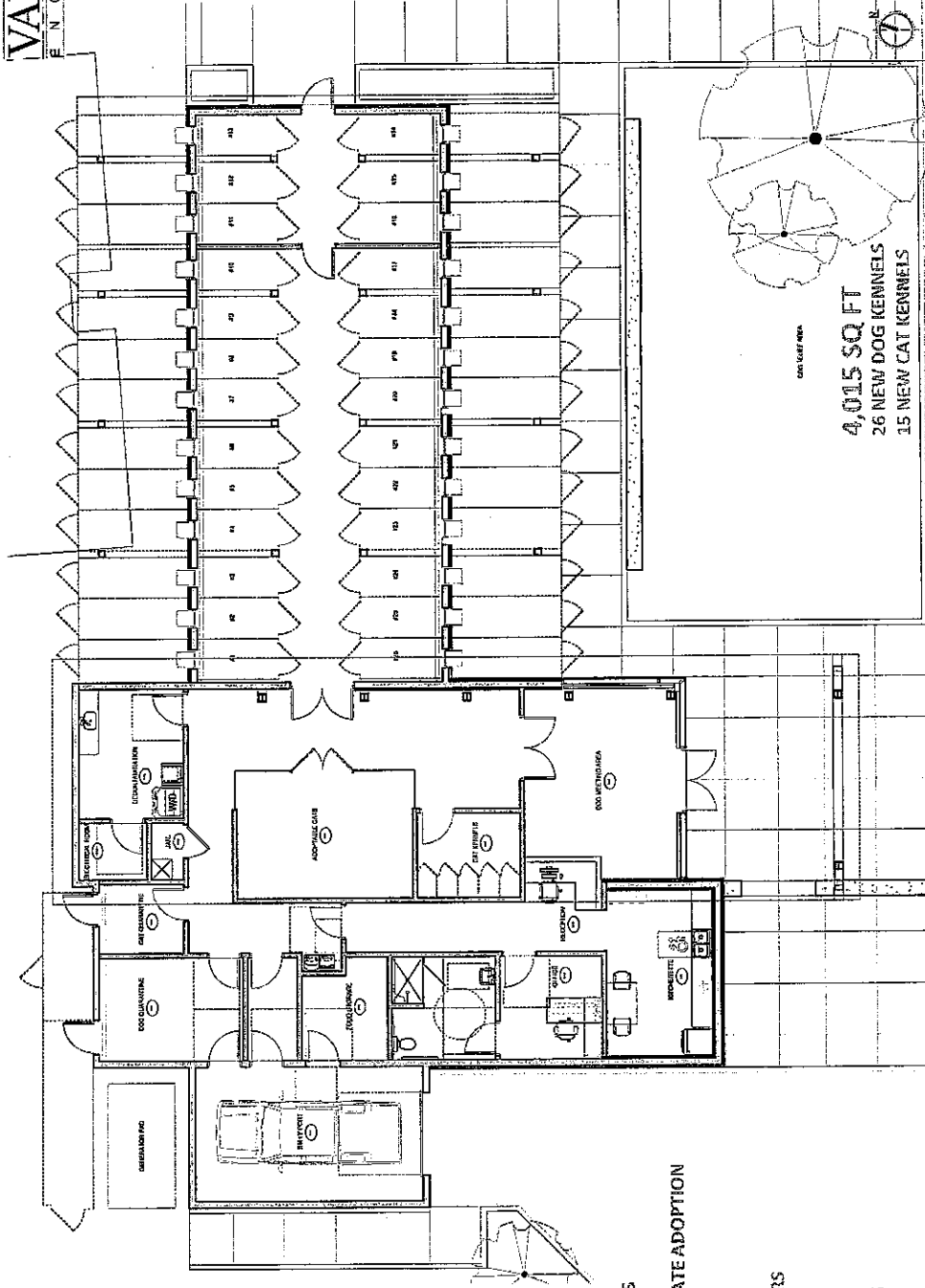
1. SEPERATE INCOMING / ADOPTABLE ENTRANCE
2. SEPERATE INCOMING / ADOPTABLE RUNS
3. QUARANTINE AREA
4. CAT ROOM (SEPERATE FROM DOG HOLDING FACILITY)
5. SALLY PORT
6. WASH ROOM
7. DECON ROOM
8. BATH / SHOWER ROOMS
9. KITCHEN / KITCHENETTE
10. OFFICE
11. STORAGE FOR RECORDS
12. HEAT / AC
13. EMERGENCY GENERATOR
14. SINKS @ ALL KENNEL DOORS
15. EXTERIOR POWER / WATER FOR CLEANING TRUCKS & EQUIPMENT

NEW BUILDING DISCUSSION





Proposed New Building Location



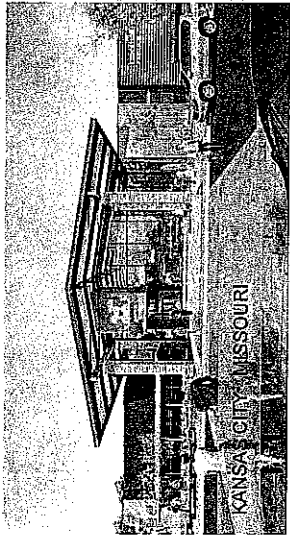
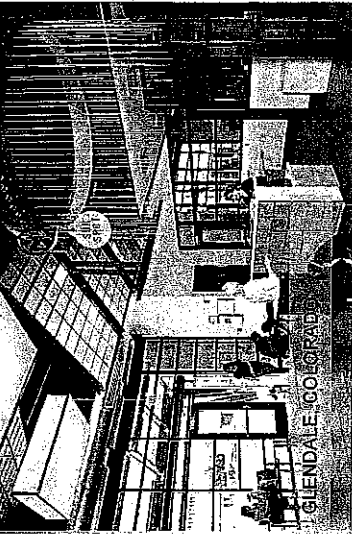
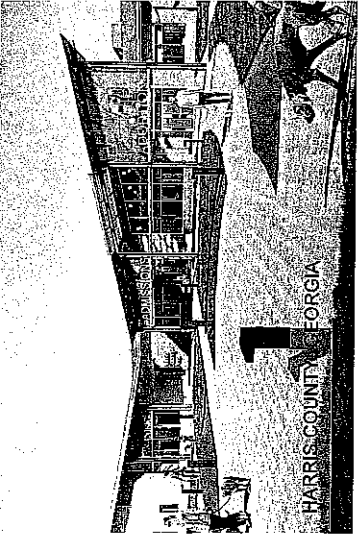
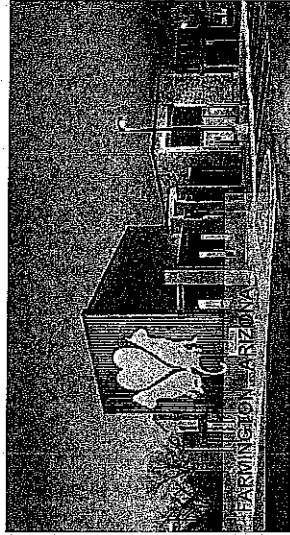
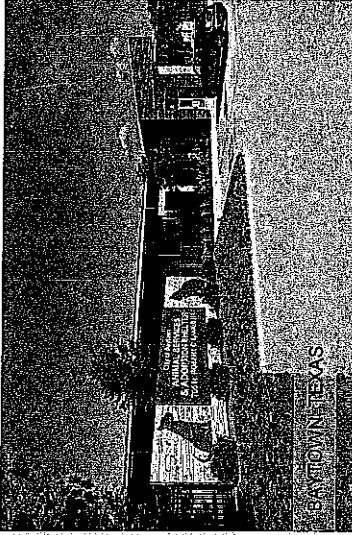
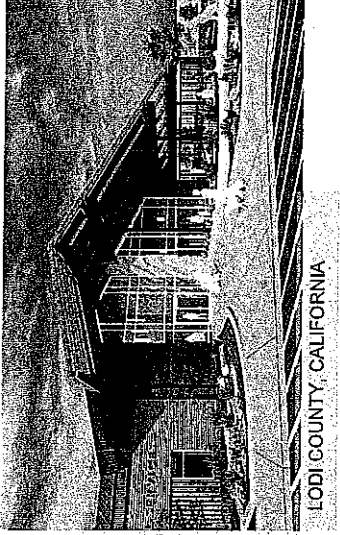
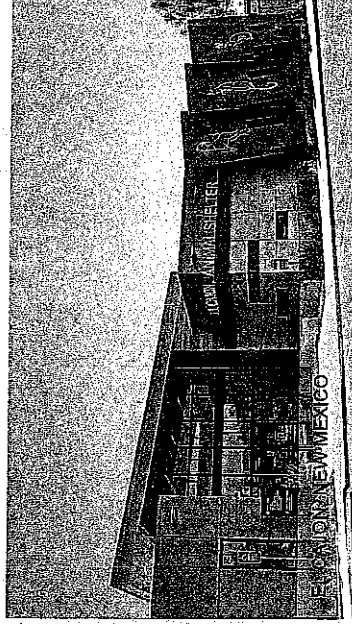
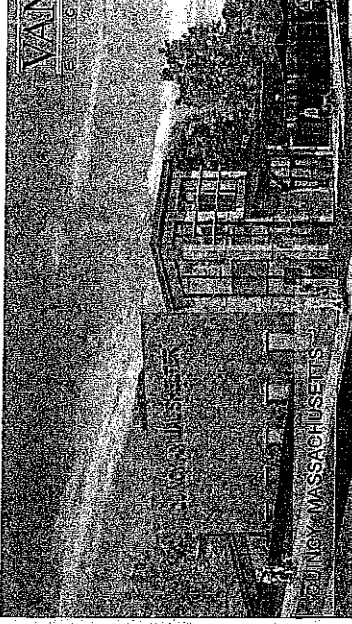
PROGRAM :

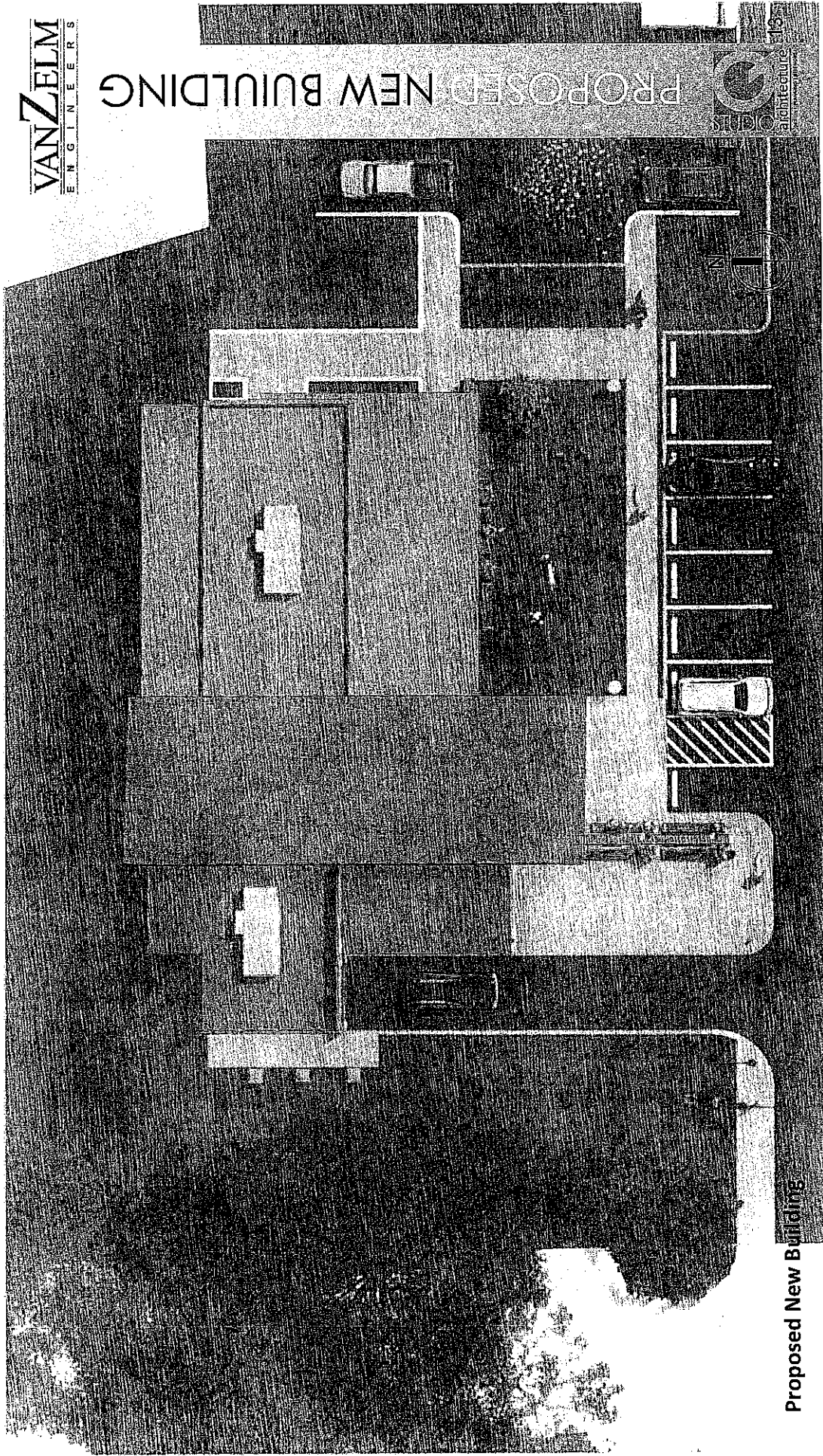
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2. FOOD STORAGE
3. ADOPTABLE CAT ROOM
4. DOG QUARANTINE
5. CAT QUARANTINE
6. SALLY PORT
7. DECON ROOM
8. BATH / SHOWER ROOMS
9. KITCHEN / KITCHENETTE
10. OFFICE
11. STORAGE FOR RECORDS
12. MEETING ROOM FOR DOGS
13. WAITING TO ACCOMMODATE ADOPTION VS ALL OTHER VISITERS

1. SINKS @ ALL KENNEL DOORS
2. DOG RELIEF AREA
3. COVERED OUTDOOR RUNS

Proposed New Building

SHEDS PRECEDENTS





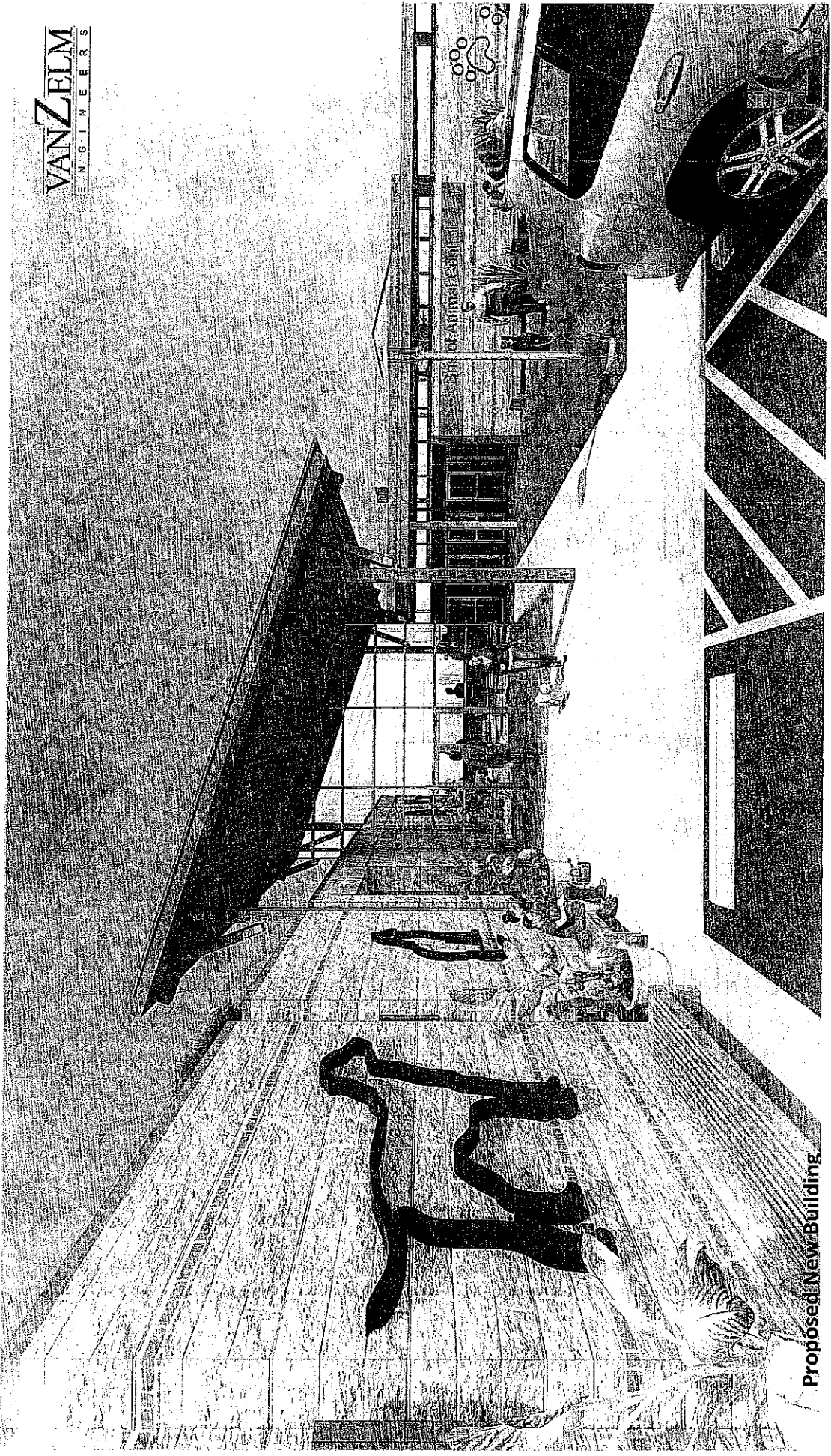
Proposed New Building

PROPOSED NEW BUILDING

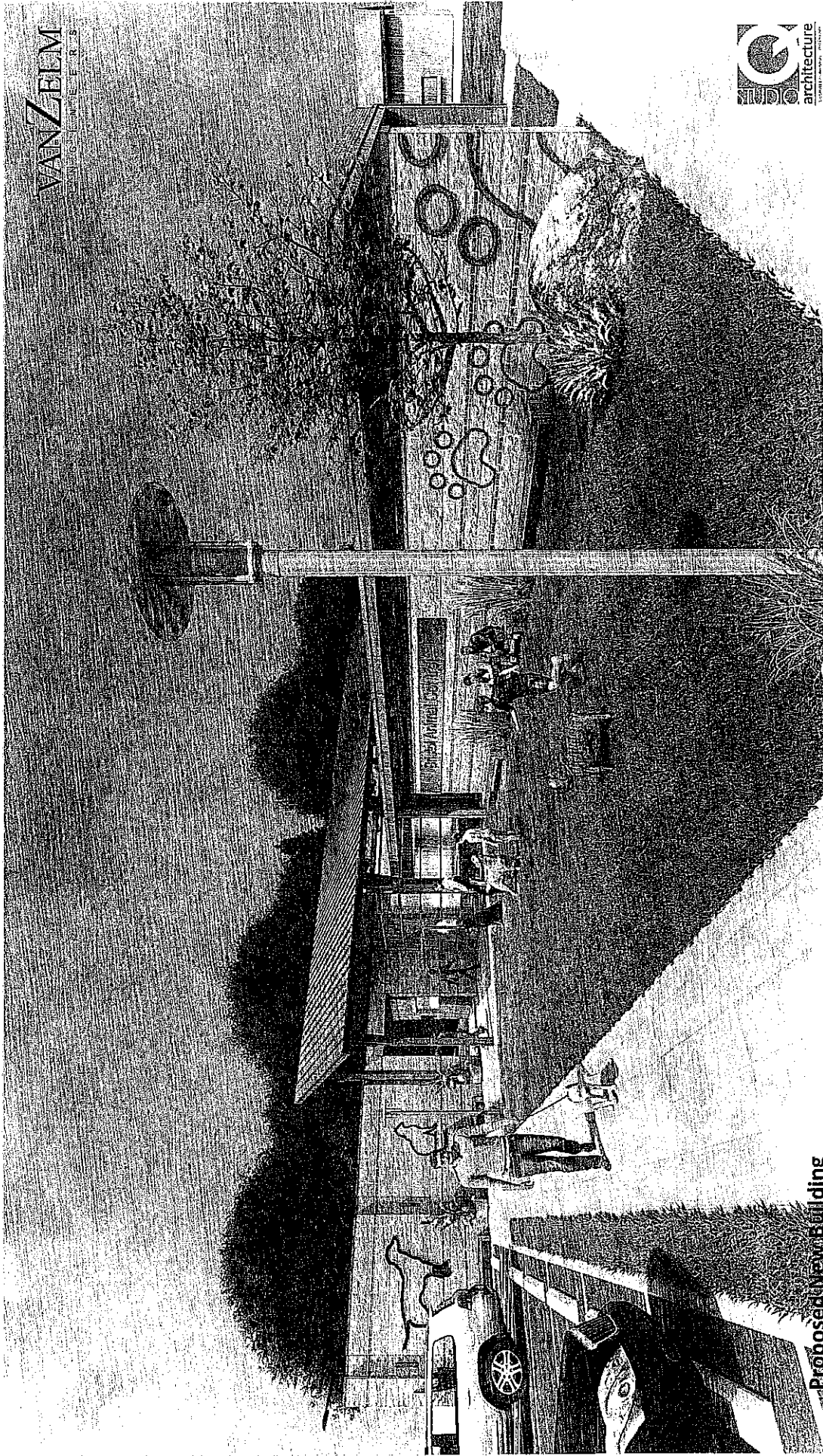
VANZELM
ENGINEERS



113



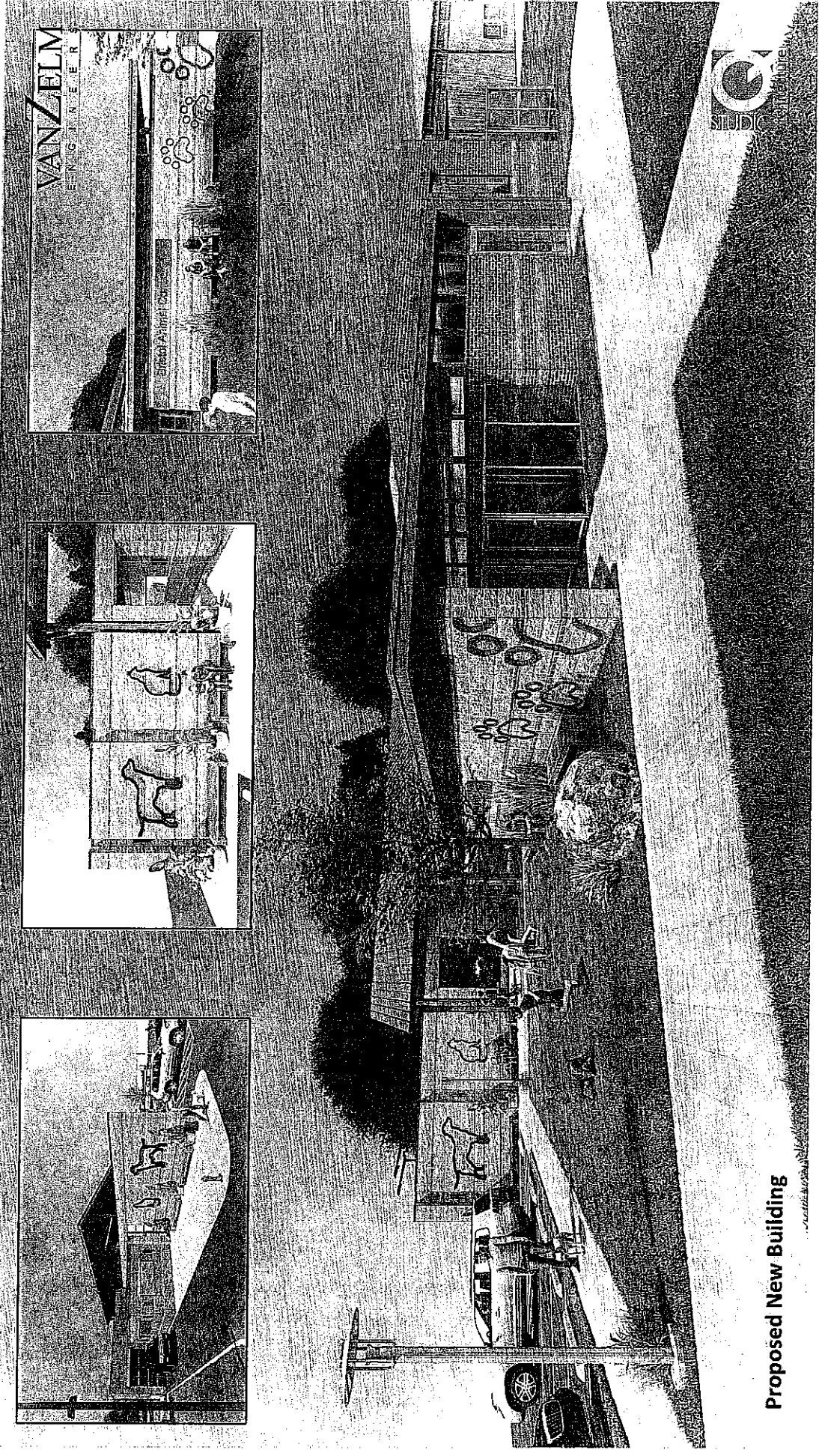
Proposed New Building



VANZELM
ARCHITECTS



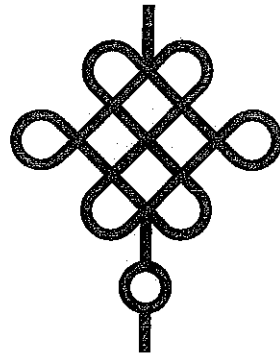
Proposed New Building



Proposed New Building

THANK YOU





Appendix B

Cost Estimates
(KEHES Group LTD)

7/28/2022

KEHES GROUP, LTD

**Bristol Animal Control
Bristol, CT**

Conceptual Estimate

BUILDING AREA Description	Renovation of Existing Facility				New Facility / New Location				Replace Existing in Kind			
	Sub-Total	2,355		% of Total	Sub-Total	4,015		% of Total	Sub-Total	2,355		% of Total
		Total	GSF			Total	GSF			Total	GSF	
31 0000 SITE WORK		87,209	37.03	8.85%		392,584	97.78	15.19%		273,895	116.30	16.35%
310500 Demolition	34,708				28,550				-			
312000 Site preparation	8,700				27,525				27,325			
313000 Earthwork	2,984				154,428				128,653			
315000 Utility Services	4,000				75,000				75,000			
316000 Site Improvements and Amenities	34,307				105,081				41,017			
319500 Site Restoration and Rehabilitation	2,500				2,000				2,000			
03 0000 CONCRETE		34,246	14.54	3.48%		252,243	62.83	9.76%		150,381	63.85	9.98%
031000 Concrete Forms and Accessories	1,200				2,000				2,000			
033000 Cast - In - Place Concrete (Foundation)	33,046				250,243				148,361			
033000 Cast - In - Place Concrete (Super Structure)	-				-				-			
04 0000 MASONRY		1,971	0.84	0.20%		372,390	92.75	14.41%		108,971	45.27	6.51%
042000 Masonry Units	1,971				372,390				108,971			
049000 Masonry Restoration and Cleaning	-				-				-			
05 0000 METAL		29,520	12.54	3.00%		31,500	7.85	1.22%		16,500	7.01	0.98%
051000 Structural Steel	-				-				-			
052000 Metal Joists	-				-				-			
053000 Metal Deck	-				-				-			
055000 Metal Fabrications	29,520				31,500				16,500			
058000 Expansion Control	-				-				-			
06 0000 WOOD & PLASTICS		24,312	10.32	2.47%		210,480	52.42	8.15%		73,643	31.27	4.40%
061000 Rough Carpentry	7,285				191,658				55,906			
062000 Finish Carpentry	2,591				6,137				3,311			
064000 Architectural Woodwork	14,427				13,676				14,427			
07 0000 THERMAL & MOISTURE PROTECTION		110,102	46.75	11.18%		159,602	39.75	6.15%		94,193	40.00	5.82%
071000 Dampproofing and Waterproofing	-				-				-			
072000 Thermal Protection	-				6,884				3,850			
073000 Siding Systems	66,558				-				62,942			
075000 Roofing	50,341				147,258				24,198			
076000 Flashing and Sheet Metal	-				-				-			
077000 Roof specialties and accessories	-				-				-			
078000 Fire and Smoke Protection	1,601				2,730				1,601			
079000 Joint sealers	1,601				2,730				1,601			
08 0000 DOORS & WINDOWS		12,700	5.39	1.29%		98,008	22.42	3.48%		42,830	18.19	2.56%
081000 Metal Doors and Frames	-				41,400				31,800			
082000 Wood and Plastic Doors	-				-				-			
083000 Specialty Doors	6,700				17,700				6,700			
084000 Entrances and Storefronts	-				24,578				-			
088000 Windows	6,000				6,000				4,000			
088000 Glazing	-				330				330			
09 0000 FINISHES		39,679	16.85	4.03%		99,819	24.86	3.88%		74,882	31.60	4.47%
092000 Plaster and Gypsum Board	12,283				63,814				47,466			
093000 Tile	789				2,522				789			
095000 Ceilings	-				-				-			
096000 Flooring	5,571				11,733				5,571			
097000 Wall Finishes	-				-				-			
098000 Acoustical Treatment	-				-				-			
099000 Paints and Coatings	20,936				21,750				20,538			
10 0000 SPECIALTIES		8,934	3.79	0.91%		14,942	3.65	0.57%		12,864	5.46	0.77%
101000 Compartments and Cubicles	-				-				-			
102600 Identifying devices	1,884				3,212				1,884			
102700 Lockers	-				3,000				3,000			
105220 Postal equipment	-				-				-			
106000 Bathroom & toilet accessories	-				930				930			
108600 Fire Protection Specialties	2,250				2,700				2,250			
109900 Miscellaneous Specialties	4,800				4,800				4,800			
11 0000 EQUIPMENT		-	-	0.00%		7,500	1.87	0.29%		5,000	2.12	0.30%
113100 Kitchen Equipment	-				7,500				5,000			
12 0000 FURNISHING		-	-	0.00%		-	-	0.00%		-	-	0.00%
124000 Furnishings and Accessories	-				-				-			
13 0000 SPECIAL CONSTRUCTION		-	-	0.00%		-	-	0.00%		-	-	0.00%
13120 Special Construction	-				-				-			
14 0000 CONVEYING SYSTEM		-	-	0.00%		-	-	0.00%		-	-	0.00%
142000 Elevators	-				-				-			
21 0000 MECHANICAL - FIRE PROTECTION		-	-	0.00%		-	-	0.00%		-	-	0.00%
213100 Fire protection piping	-				-				-			
213200 Fire pumps	-				-				-			
213300 Wet pipe sprinkler system	-				-				-			
213350 Dry pipe sprinkler system	-				-				-			
22 0000 MECHANICAL - PLUMBING		39,731	16.87	4.03%		120,400	29.89	4.66%		99,596	42.29	5.95%
224100 Plumbing piping	19,750				75,769				61,315			
224300 Plumbing specialties	12,981				18,631				20,891			
224400 Plumbing fixtures	-				18,000				9,300			
224500 Plumbing equipment	3,000				3,000				3,000			
224750 Pool & fountain equipment	-				-				-			
224800 Special systems	4,000				5,000				5,000			
23 0000 MECHANICAL - HVAC		147,354	62.57	14.96%		144,489	35.99	5.59%		142,544	60.57	8.52%
235100 Hydronic & refrigerant piping	-				-				-			
235500 Heat generation	-				14,725				12,880			
235600 Refrigeration	12,880				-				-			
237500 Heat transfer	-				-				-			
238500 Air handling	52,950				52,950				52,950			
238800 Air distribution	72,324				57,614				57,614			
239500 Controls	6,700				6,700				5,700			
239900 Testing & balancing	3,500				3,500				3,500			
26 0000 ELECTRICAL		69,748	28.34	6.77%		132,395	32.88	5.12%		105,040	44.60	6.27%
262000 Power generation	32,125				36,500				36,500			
263000 Medium voltage distribution	-				10,038				4,710			
264000 Service & distribution	13,845				22,245				13,845			
265000 Lighting	2,778				25,690				15,730			
265000 Special systems	11,500				29,423				25,755			
267000 Communication	-				2,000				2,000			

7/28/2022

KEHES GROUP, LTD

Bristol Animal Control
Bristol, CT

Conceptual Estimate

BUILDING AREA Description	Renovation of Existing Facility				New Facility / New Location				Replace Existing In Kind			
	Sub-Total	Total	GSP	% of Total	Sub-Total	Total	GSP	% of Total	Sub-Total	Total	GSP	% of Total
268500 Electric resistance heating												
269000 Controls												
269600 Testing	6,500				6,500				6,500			
SUBTOTAL DIRECT COST	\$ 602,808	\$ 602,808	\$ 258	61.15%	\$ 2,028,052	\$ 2,028,082	\$ 805	78.49%	\$ 1,200,419	\$ 1,200,419	\$ 510	71.66%
Design Contingency	10.0%	60,281	25.58	6.12%	10.0%	60,251	15.01	2.33%	10.0%	60,261	25.58	3.60%
Escalation - 6 months	8.0%	53,021	22.61	5.38%	8.0%	53,021	13.21	2.05%	8.0%	53,021	22.51	3.17%
General Conditions		150,000	63.69	15.22%		195,000	48.57	7.55%		180,000	76.43	10.75%
General Requirements		40,000	20.38	4.67%		60,000	14.94	2.32%		50,000	25.48	3.58%
General Liability Insurance	0.5%	\$ 7,310.21	3.10	0.74%	0.5%	\$ 19,170.68	4.77	0.74%	0.5%	\$ 12,429.52	5.28	0.74%
Building Permit - By Owner	0.0%			0.00%	0.0%			0.00%	0.0%			0.00%
State Education Fund	0.026%	239	0.10	0.02%	0.026%	626	0.16	0.02%	0.026%	407	0.17	0.02%
CM Payment & Performance Bond (Subguard)	0.8%	7,371	3.13	0.76%	0.8%	18,329	4.61	0.76%	0.8%	12,532	5.32	0.75%
CM Fee	2.50%	23,217	9.85	2.36%	2.50%	60,888	15.16	2.36%	2.50%	39,476	16.76	2.36%
TOTAL DIRECT COST		\$ 951,915	\$ 404	96.62%		\$ 2,496,337	\$ 622	96.62%		\$ 1,818,536	\$ 687	96.62%
Construction Contingency (by Owner)	3.5%	33,317	14.15	3.38%	3.5%	87,372	21.76	3.38%	3.5%	56,649	24.05	3.38%
TOTAL CONSTRUCTION COST		\$ 985,232	\$ 418	100.00%		\$ 2,583,708	\$ 644	100.00%		\$ 1,875,184	\$ 711	100.00%

7/28/2022

KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

31 0000 SITE WORK310500 Demolition

Sawcut & Remove Existing Slab on Grade (Kennel #1)	514	SF	22.00	11,303	
Sawcut & Remove Existing Slab on Grade (Kennel #2)	514	SF	22.00	11,301	
Sawcut & Remove Existing Slab on Grade (Kennel #3)	470	SF	22.00	10,331	
Demo Existing Ceilings	788	SF	2.25	1,774	

Demolition 34,708

312000 Site preparation

Traffic Control/signage	1	LS	2,000.00	2,000	
Site Cleanup	1	LS	2,500.00	2,500	
Temporary construction barrier	300	LF	14.00	4,200	

Site preparation 8,700

313000 Earthwork

Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #1)	514	SF	2.00	1,028	
Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #2)	514	SF	2.00	1,027	
Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #3)	470	SF	2.00	939	

Earthwork 2,994

315000 Utility Services

Misc Utility Tie-in's	1	LS	4,000.00	4,000	
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Utility Services 4,000

318000 Site Improvements and Amenities

New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	41.71	SF	35.00	1,460	
New Exterior Chain Link	183.62	LF	16.50	3,030	
New Exterior Chain Link @ Kennels	385.68	LF	16.50	6,364	
New Exterior Chain Link Gate (3'-2") @ Kennels	22	EA	350.00	7,700	
New Interior Chain Link @ Kennels	424.47	LF	16.50	7,004	
New Interior Chain Link Gate (3'-2") @ Kennels	25	EA	350.00	8,750	

Site Improvements and Amenities 34,307

319500 Site Restoration and Rehabilitation

Misc Site Restoration Allowance	1	LS	2,500.00	2,500	
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Site Restoration and Rehabilitation 2,500

SUBTOTAL SITE WORK 87,209

03 3000 CONCRETE031000 Concrete Forms and Accessories

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

			BUILDING AREA		2,355	GSF	
DESCRIPTION			QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Misc. MEP housekeeping pads			1	LS	1,200.00	1,200	
Concrete Forms and Accessories							1,200
033000	Cast - In - Place Concrete (Foundation)						
	New Slab on Grade (Kennel #1)	514	SF				
	Concrete materials (5" thickness)	8.72	CY	110.00	959		
	Edge form	-	LF	6.00	-		
	Place Concrete	513.75	SF	6.00	3,083		
	Trowel Finish Concrete	513.75	SF	1.00	514		
	#4 bar reinforcing at 12" OC each way	513.75	SF	6.00	3,083		
	Cure and Seal	513.75	SF	0.50	257		
	15 mil vapor barrier under slabs	513.75	SF	1.00	514		
	Pump	-	DAYS	1,100.00	-		
	New Slab on Grade (Kennel #2)	514	SF				
	Concrete materials (5" thickness)	8.72	CY	110.00	959		
	Edge form	-	LF	6.00	-		
	Place Concrete	513.68	SF	6.00	3,082		
	Trowel Finish Concrete	513.68	SF	1.00	514		
	#4 bar reinforcing at 12" OC each way	513.68	SF	6.00	3,082		
	Cure and Seal	513.68	SF	0.50	257		
	15 mil vapor barrier under slabs	513.68	SF	1.00	514		
	Pump	-	DAYS	1,100.00	-		
	New Slab on Grade (Kennel #3)	470	SF				
	Concrete materials (5" thickness)	7.97	CY	110.00	877		
	Edge form	-	LF	6.00	-		
	Place Concrete	469.59	SF	6.00	2,818		
	Trowel Finish Concrete	469.59	SF	1.00	470		
	#4 bar reinforcing at 12" OC each way	469.59	SF	6.00	2,818		
	Cure and Seal	469.59	SF	0.50	235		
	15 mil vapor barrier under slabs	469.59	SF	1.00	470		
	Pump	-	DAYS	1,100.00	-		
	Slab Trough @ Kennel Areas	169.61	LF	15.00	2,544		
	Exterior Concrete Pad for new DOAS Unit	240.00	SF	25.00	6,000		
Cast - In - Place Concrete (Foundation)							33,046
033000	Cast - In - Place Concrete (Super Structure)						
	NONE						
Cast - In - Place Concrete (Super Structure)							-
SUBTOTAL CONCRETE							34,246
04 0000	MASONRY						
042000	Masonry Units						
	New Precast Curb @ Perimeter of Wood Framed Office	49.28	LF	40.00	1,971		
Masonry Units							1,971
049000	Masonry Restoration and Cleaning						
	NONE						
Masonry Restoration and Cleaning							-
SUBTOTAL MASONRY							1,971

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

05 0000 METAL051000 Structural Steel
NONE

Structural Steel

-

052000 Metal Joists
NONE

Metal Joists

-

053000 Metal Deck
NONE

Metal Deck

-

055000 Metal Fabrications

New 4x4 Galvanized Steel Tube
Support Framing for Roof Deck Assembly
Metal Roof Deck to support DOAS
New Mechanical Catwalk Access Ladder

9.00	EA	1,500.00	13,500
520.00	SF	20.00	10,400
520.00	SF	6.00	3,120
1.00	EA	2,500.00	2,500

Metal Fabrications

29,520

058000 Expansion Control
NONE

Expansion Control

-

SUBTOTAL METAL

29,520

06 0000 WOOD & PLASTICS061000 Rough Carpentry

Rough Carpentry - misc. blocking, etc.
Temp Protection Allowance
Safety & Maintenance

2,355	SF	0.55	1,295
1	LS	3,000.00	3,000
1	LS	3,000.00	3,000

Rough Carpentry

7,295

062000 Finish Carpentry

Running Trim/mouldings

2,355	SF	1.10	2,591
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Finish Carpentry

2,591

064000 Architectural Woodwork

Base & Upper Cab's at Staging
Countertop at Staging
New Desk/Work Surface at Office/Waiting

6.02	LF	700.00	4,214
12.09	SF	50.00	605
12.01	SF	800.00	9,608

Architectural Woodwork

14,427

SUBTOTAL WOOD & PLASTICS

24,312

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

07 0000 THERMAL & MOISTURE PROTECTION**071000 Dampproofing and Waterproofing**
NONE

Dampproofing and Waterproofing

072000 Thermal Protection
NONE

Thermal Protection

073000 Siding SystemsReplace Existing Fascia and replace w/New Fascia Trim
w/Aluminum Wrap

198.67 LF 30.00 5,960

New Exterior Wall Louver

2.00 EA 500.00 1,000

New 2" Rigid insulation over CMU

1,964.28 SF 4.00 7,857

New 2" Z-Channel @ 24" OC

1,964.28 SF 4.00 7,857

New 5/8" Sheathing over CMU (assume 50% of face area)

982.14 SF 6.50 6,384

New AVB over CMU

1,964.28 SF 4.00 7,857

New Cementitious Fiberboard Siding over CMU

1,964.28 SF 10.00 19,643

Siding Systems

56,558

075000 Roofing

Roof Insulation - Spray Poly

1,262.07 SF 5.00 6,310

Remove existing Shingle Roof

1,262.07 SF 10.00 12,621

Replace Existing Roof Sheathing

1,262.07 SF 10.00 12,621

New Architectural Shingle Roof throughout

1,262.07 SF 10.00 12,621

New Downspout

5.00 EA 900.00 4,500

New Gutters

104.26 LF 16.00 1,668

Roofing

50,341

076000 Flashing and Sheet Metal

NONE

Flashing and Sheet Metal

077000 Roof specialties and accessories

NONE

Roof specialties and accessories

078000 Fire and Smoke Protection

Firestopping

2,355 SF 0.68 1,601

Fire and Smoke Protection

1,601

079000 Joint sealers

Misc. caulking, sealant and fire safing

2,355 SF 0.68 1,601

Joint sealers

1,601

SUBTOTAL THERMAL & MOISTURE PROTECTION

110,102

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

08 0000 DOORS & WINDOWS**081000 Metal Doors and Frames**

Exterior Door, Frame & HW - Single	1	EA	2,400.00		
Exterior Door, Frame & HW - Single w/Sidelite	2	EA	2,800.00		
Interior Door, Frame & HW - Single	9	EA	2,200.00		
Interior Pair of Slider Closet Doors	2	EA	2,000.00		

Metal Doors and Frames

082000 Wood and Plastic Doors

NONE

Wood and Plastic Doors

083000 Specialty Doors

Allowance for access doors	1	LS	1,200.00	1,200	
New Dog Pass Door	22	EA	250.00	5,500	

Specialty Doors

6,700

084000 Entrances and Storefronts

NONE

Entrances and Storefronts

008500 Windows

New Fiberglass Replacement Window - Single	4	EA	1,000.00	4,000	
New Fiberglass Replacement Window - Double	1	EA	2,000.00	2,000	

Windows

6,000

088000 Glazing

NONE

Glazing

SUBTOTAL DOORS & WINDOWS

12,700

09 0000 FINISHES**092000 Plaster and Gypsum Board**

New 5/8" Gypsum Board Ceiling All Areas	788	SF	10.00	7,883	
Interior Walls - Patch Existing	2,200	SF	2.00	4,400	

Plaster and Gypsum Board

12,283

093000 Tile

New Tile Flooring at Restroom	21	SF	22.00	472	
New Tile Base at Restroom	16	LF	20.00	317	

Tile

789

095000 Ceilings

NONE

Ceilings

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>096000</u> <u>Flooring</u>					
New Concrete Sealer at Isolation	38	SF	3.00	115	
New Base at Isolation	25	LF	5.00	124	
New Resilient Flooring at Main Corridors at Center of Building	255	SF	7.00	1,787	
New Base at Main Corridors at Center of Building	83	LF	5.00	414	
New Resilient Flooring at Office/Waiting	244	SF	7.00	1,705	
New Base at Office/Waiting	88	LF	5.00	439	
New Resilient Flooring at Staging	127	SF	7.00	888	
New Base at Storage	40	LF	5.00	201	
Flooring					5,671
<u>097000</u> <u>Wall Finishes</u>					
NONE					
Wall Finishes					-
<u>098000</u> <u>Acoustical Treatment</u>					
NONE					
Acoustical Treatment					-
<u>099000</u> <u>Paints and Coatings</u>					
New Base & Painting at Isolation	247	SF	2.00	494	
Wall Painting at Main Corridors at Center of Building	829	SF	2.00	1,657	
Wall Painting at Office/Waiting Walls	877	SF	2.00	1,755	
Wall Painting at Restroom	159	SF	2.00	317	
Wall Painting at Staging	424	SF	2.00	848	
Wall Painting at Storage	401	SF	2.00	803	
GWB Ceilings	788	SF	2.00	1,576	
Paint Exposed Structure above	1,497	SF	2.50	3,743	
Paint Exterior Cementitious Fiberboard Siding	1,964	SF	3.00	5,893	
Paint Door Leafs & Frames	14	EA	275.00	3,850	
Paints and Coatings					20,936
SUBTOTAL FINISHES					39,679
<u>10 0000</u> <u>SPECIALTIES</u>					
<u>101000</u> <u>Compartments and Cubicles</u>					
NONE					
Compartments and Cubicles					-
<u>102600</u> <u>Identifying devices</u>					
Interior Wayfinding & Room Signage	2,355.00	GSF	0.80	1,884	
Identifying devices					1,884
<u>102700</u> <u>Lockers</u>					
Locker / Storage Cabinet Allowance	1	AL	3,000.00	Existing to Remain	
Lockers					-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

105220 Postal equipment
NONE

Postal equipment

108000 Bathroom & toilet accessories

H/C Grab Bars

2 EA

165.00

Existing to

Remain

Soap dispensers, installed

1 EA

55.00

Existing to

Remain

Paper Towel Dispensers

1 EA

300.00

Existing to

Remain

Toilet paper Dispenser, installed

1 EA

85.00

Existing to

Remain

Waste receptacles, installed

1 EA

160.00

Existing to

Remain

Bathroom & toilet accessories

108800 Fire Protection Specialties

FEC's - surface mounted

5 EA

450.00

2,250

Fire Protection Specialties

2,250

109900 Miscellaneous Specialties

Marker Boards/White Boards

4 EA

1,200.00

4,800

Miscellaneous Specialties

4,800

SUBTOTAL SPECIALTIES

8,934

11 0000 EQUIPMENT

113100 Kitchen Equipment

Reach-In Refrigerator - Medicines, etc.

1 EA

2,500.00

Existing to

Remain

Reach-In Refrigerator for Staff

1 EA

2,500.00

Existing to

Remain

Kitchen Equipment

SUBTOTAL EQUIPMENT

12 0000 FURNISHING

124000 Furnishings and Accessories

NONE

Furnishings and Accessories

SUBTOTAL FURNISHING

13 0000 SPECIAL CONSTRUCTION

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
<u>13120</u> <u>Special Construction</u>						
NONE						
Special Construction						-
SUBTOTAL SPECIAL CONSTRUCTION						-
<u>14 0000</u> <u>CONVEYING SYSTEM</u>						
<u>142000</u> <u>Elevators</u>						
NONE						
Elevators						-
SUBTOTAL CONVEYING SYSTEM						-
<u>21 0000</u> <u>MECHANICAL - FIRE PROTECTION</u>						
<u>213100</u> <u>Fire protection piping</u>						
NONE						
Fire protection piping						-
<u>213200</u> <u>Fire pumps</u>						
NONE						
Fire pumps						-
<u>213300</u> <u>Wet pipe sprinkler system</u>						
NONE						
Wet pipe sprinkler system						-
<u>213350</u> <u>Dry pipe sprinkler system</u>						
NONE						
Dry pipe sprinkler system						-
SUBTOTAL FIRE PROTECTION						-
<u>22 0000</u> <u>MECHANICAL - PLUMBING</u>						
<u>224100</u> <u>Plumbing piping</u>						
Remove Existing Piping	2,355.00	GSF	1.25		Existing to Remain	
New piping	325.00	LF	65.00		Existing to Remain	
New piping Insulation	325.00	LF	22.00		Remain	
2" Gas Piping	250.00	LF	65.00		16,250	
Gas Valves & Accessories	1.00	LS	3,500.00		3,500	
New Sanitary Piping	120.00	LF	75.00		Existing to Remain	
New Sanitary Vent Piping	66.00	LF	65.00		Existing to Remain	
Plumbing piping						19,750

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>224300</u> <u>Plumbing specialties</u>					
Backflow Preventer	1.00	EA	3,500.00	Existing to Remain	
Water Service Meter	1.00	EA	4,500.00	Existing to Remain	
Gas Service Meter	1.00	EA	4,500.00	4,500	
Trench Drain Cover at Kennels	170	LF	50.00	8,481	
Plumbing specialties				-	12,981
<u>224400</u> <u>Plumbing fixtures</u>					
Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	6.00	EA	450.00	Existing to Remain	
DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	Existing to Remain	
New Sink at Restroom	1	EA	1,200.00	Existing to Remain	
New Sink at Staging	1	EA	1,600.00	Existing to Remain	
New Toilet at Restroom	1	EA	1,200.00	Existing to Remain	
Plumbing fixtures				-	-
<u>224500</u> <u>Plumbing equipment</u>					
Allowance for equipment not yet defined	1	LS	3,000.00	3,000	
Plumbing equipment				-	3,000
<u>224750</u> <u>Pool & fountain equipment</u>					
NONE					
Pool & fountain equipment					-
<u>224800</u> <u>Special systems</u>					
Flush Testing	1	LS	2,000.00	2,000	
Commissioning	1	LS	2,000.00	2,000	
Special systems					4,000
SUBTOTAL MECHANICAL - PLUMBING					39,731
<u>23 0000</u> MECHANICAL - HVAC					
<u>235100</u> <u>Hydronic & refrigerant piping</u>					
NONE					
Hydronic & refrigerant piping					-
<u>235500</u> <u>Heat generation</u>					
NONE					
Heat generation					-
<u>236500</u> <u>Refrigeration</u>					
Condensing Unit CU-1	1	EA	5,500.00	5,500	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	61	LF	60.00	3,654	
Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	62	LF	60.00	3,726	
Refrigeration					12,880
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					-
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
AHU-1 / Furnace in Storage 104	1	EA	8,400.00	8,400	
Air handling					52,950
<u>238800</u> <u>Air distribution</u>					
Demo Existing Systems/Duct, etc.	2,355	GSF	2.00	4,710	
Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
Exhaust Grille at Isolation	1	EA	300.00	300	
Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
Supply Grille at General Areas	6	EA	300.00	1,800	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					72,324
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
Controls					5,700
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	3,500.00	3,500	
Testing & balancing					3,500
SUBTOTAL HVAC					147,354
<u>26 0000</u> <u>ELECTRICAL</u>					
<u>262000</u> <u>Power generation</u>					

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road	1	LS	25,000.00	25,000		
New exterior meter on right side of building entrance	1	EA	5,000.00	5,000		
Reconnect Existing Generator	1	EA	2,125.00	2,125		
Power generation						32,125
<u>263000</u> <u>Medium voltage distribution</u>						
Medium Voltage Distribution Throughout	2,355.00	SF		-		
Medium voltage distribution						-
<u>264000</u> <u>Service & distribution</u>						
Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000		
New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	1,000.00	1,000		
60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400		
Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	2,200.00	2,200		
Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	2,125.00	2,125		
New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	2,060.00	2,060		
Dedicated electrical circuit with local fused disconnect switch at new Furnace	1	LS	2,060.00	2,060		
Service & distribution						13,845
<u>265000</u> <u>Lighting</u>						
Replacement Lighting Allowance	2,355	GSF	0.50	1,178		
New Exterior Light (Round)	2	EA	800.00	1,600		
Lighting						2,778
<u>266000</u> <u>Special systems</u>						
Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	2,355	SF	1.00		Existing to Remain	
120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00		Existing to Remain	
Grounding & bonding	1	LS	2,500.00		Existing to Remain	
Wireless hub/router	4	EA	1,000.00	4,000		
TVSS & Misc Surge Protection	1	LS	2,500.00	2,500		
Submittals & Shop drawings	1	LS	2,500.00	2,500		
Operating Manuals & Training	1	LS	2,500.00	2,500		
Special systems						11,500
<u>267000</u> <u>Communication</u>						
Telephone wiring from central switch / Cat 6 cabling	1	LS	2,000.00		Existing to Remain	
Communication						-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355		GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
<u>268500</u> <u>Electric resistance heating</u> w/HVAC				-		
Electric resistance heating				-		
<u>269000</u> <u>Controls</u> NONE				-		
Controls				-		
<u>269500</u> <u>Testing</u> Testing, Inspections & Certifications	1	LS	6,500.00	6,500		
Testing				-	6,500	
SUBTOTAL ELECTRICAL					66,748	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		4,015		GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>31 0000</u>	<u>SITE WORK</u>					
<u>310500</u>	<u>Demolition</u>					
	Demo Existing Structure in its Entirety	2355	SF	10.00	23,550	
	Restore Site	1	LS	5,000.00	5,000	
	Demolition					28,550
<u>312000</u>	<u>Site preparation</u>					
	Construction Entrance	1,400	SF	2.00	2,800	
	Silt Fence	500	LF	1.85	925	
	Anti-Tracking Pad	800	SF	4.00	3,200	
	Street Cleaning	1	LS	2,500.00	2,500	
	Traffic Control/signage	1	LS	2,000.00	2,000	
	Site Cleanup	1	LS	2,500.00	2,500	
	Temporary construction barrier	400	LF	14.00	5,600	
	Topsoil Stockpile Area	2,000	SF	4.00	8,000	
	Site preparation					27,525
<u>313000</u>	<u>Earthwork</u>					
	Excavation/backfill at new underground utility lines	533	CY	65.00	34,667	
	Excavation/backfill at new foundations	227	CY	50.00	11,331	
	Bulk building excavation	8,030	CY	8.50	68,255	
	Proof-rolling at slab	4,015	SF	2.00	8,030	
	Furnish & spread gravel base / Fine Grading at Slab	4,015	SF	2.10	8,432	
	Furnish & spread gravel base / Fine Grading at pavement areas	9,965	SF	2.10	20,926	
	Additional 6" crushed stone at interior slab	93	CY	30.00	2,788	
	Earthwork					154,428
<u>315000</u>	<u>Utility Services</u>					
	New Utilities Allowance - Electric	1	LS	15,000.00	15,000	
	New Utilities Allowance - Water	1	LS	15,000.00	15,000	
	New Utilities Allowance - Sanitary	1	LS	15,000.00	15,000	
	New Utilities Allowance - Storm	1	LS	15,000.00	15,000	
	New Utilities Allowance - Gas	1	LS	15,000.00	15,000	
	Utility Services					75,000
<u>318000</u>	<u>Site Improvements and Amenities</u>					
	Lawn / Sod Areas	16,060	SF	0.50	8,030	
	Plantings	1	LS	2,000.00	2,000	
	Tree (Large)	1	EA	1,600.00	1,600	
	Tree (Small)	3	EA	1,200.00	3,600	
	New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	55	SF	35.00	1,925	
	New Exterior Chain Link @ Kennels	540	LF	16.50	8,902	
	New Exterior Chain Link Gate (3'-2") @ Kennels	28	EA	350.00	9,800	
	New Interior Chain Link @ Kennels	372	LF	16.50	6,132	
	New Interior Chain Link Gate (3'-2") @ Kennels	26	EA	350.00	9,100	
	New Interior Chain Link Gate @ Cat Kennels	5	EA	250.00	1,250	
	Bituminous Asphalt Paving at Parking Spaces	1,447	SF	7.00	10,128	
	Bituminous Asphalt Paving to Garage	1,310	SF	7.00	9,167	
	Parking Lot Line Striping (Spaces & HC Cross Hatching)	229	LF	5.00	1,143	
	Curb	618	LF	45.00	27,828	
	Ground Planter (Large)	75	SF	45.00	3,369	
	Ground Planter (Small)	25	SF	45.00	1,107	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		4,015	GSF	
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
Site Improvements and Amenities						105,081
<u>319500</u> <u>Site Restoration and Rehabilitation</u>						
Misc Site Restoration Allowance	1	LS	2,000.00	2,000		
Site Restoration and Rehabilitation						2,000
SUBTOTAL SITE WORK						392,584
<u>03 3000</u> <u>CONCRETE</u>						
<u>031000</u> <u>Concrete Forms and Accessories</u>						
Misc. MEP housekeeping pads	1	LS	2,000.00	2,000		
Concrete Forms and Accessories						2,000
<u>033000</u> <u>Cast - In - Place Concrete (Foundation)</u>						
Continuous Spread Footing - 3'-0" W x 1'-0" H	382.42	LF				
Formwork (2-sided)	764.84	SF	15.00	11,473		
Rebar - 100# / CY	2.34	TON	1,875.00	4,382		
Concrete - material	46.74	CY	110.00	5,141		
Concrete - place	46.74	CY	100.00	4,674		
Frost Walls - 1'-0" W x 4'-0" H	382.42	LF				
Formwork (2-sided)	3,059.36	SF	15.00	45,890		
Rebar - 75# / CY	4.67	TON	1,875.00	8,764		
Concrete - material	124.64	CY	110.00	13,710		
Concrete - place	124.64	CY	100.00	12,464		
Pump time - General	1.00	DAYS	800.00	800		
New Slab on Grade	3,605	SF				
Concrete materials (5" thickness)	61.20	CY	110.00	6,732		
Edge form	1,217.00	LF	6.00	7,302		
Place Concrete	3,605.29	SF	6.00	21,632		
Trowel Finish Concrete	3,605.29	SF	1.00	3,605		
#4 bar reinforcing at 12" OC each way	3,605.29	SF	6.00	21,632		
Cure and Seal	3,605.29	SF	0.50	1,803		
15 mil vapor barrier under slabs	3,605.29	SF	1.00	3,605		
Pump	-	DAYS	1,100.00	-		
New Exterior Slab on Grade	3,193	SF				
Concrete materials (5" thickness)	54.21	CY	110.00	5,963		
Edge form	1,217.00	LF	6.00	7,302		
Place Concrete	3,193.32	SF	6.00	19,160		
Trowel Finish Concrete	3,193.32	SF	1.00	3,193		
#4 bar reinforcing at 12" OC each way	3,193.32	SF	6.00	19,160		
Cure and Seal	3,193.32	SF	0.50	1,597		
15 mil vapor barrier under slabs	3,193.32	SF	1.00	3,193		
Pump	-	DAYS	1,100.00	-		
Slab Trough @ Kennel Areas	122.62	LF	25.00	3,066		
Exterior Concrete Pad for new DOAS Unit	240.00	SF	25.00	6,000		
Exterior Concrete Pad for Generator	80.00	SF	25.00	2,000		
Exterior Sidewalks H/C Ramp Transitions	2.00	LS	3,000.00	6,000		
Cast - In - Place Concrete (Foundation)						250,243
<u>033000</u> <u>Cast - In - Place Concrete (Super Structure)</u>						
NONE						
Cast - In - Place Concrete (Super Structure)						-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

SUBTOTAL CONCRETE

252,243

04 0000 MASONRY042000 Masonry Units

Exterior CMU Wall	4589.04	SF	35.00	160,616	
Staging/scaffolding	2,294.52	SF	6.50	14,914	
Brick Facing	4359.04	SF	38.00	165,644	
New Precast Curb @ Perimeter of Wood Framed Office	49.28	LF	40.00	1,971	
Feature Wall (Exterior) at South Exterior Kennel	426.80	SF	40.00	17,072	
Feature Wall at Main Entry	304.30	SF	40.00	12,172	

Masonry Units

372,390

049000 Masonry Restoration and Cleaning

NONE

Masonry Restoration and Cleaning

SUBTOTAL MASONRY

372,390

05 0000 METAL051000 Structural Steel

NONE

Structural Steel

052000 Metal Joists

NONE

Metal Joists

053000 Metal Deck

NONE

Metal Deck

055000 Metal Fabrications

Structural Steel Posts	21.00	EA	1,500.00	31,500	
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Metal Fabrications

31,500

058000 Expansion Control

NONE

Expansion Control

SUBTOTAL METAL

31,500

06 0000 WOOD & PLASTICS061000 Rough Carpentry

Roof Structure - Main Building	6,023	SF	22.00	132,495	
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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			4,015	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Roof Structure - Main Entry	456	SF	22.00	10,042	
Roof Blocking/fasteners	4,015	LF	4.25	17,064	
Lift rental	1	LS	8,500.00	8,500	
Misc. general hardware, fasteners	4,015	SF	3.50	14,053	
Rough Carpentry - misc. blocking, etc.	4,015	SF	1.00	4,015	
Temp Protection Allowance	1	LS	2,000.00	2,000	
Safety & Maintenance	1	LS	3,500.00	3,500	
Rough Carpentry					191,668
<u>062000</u> <u>Finish Carpentry</u>					
Running Trim/mouldings	4,015	SF	1.10	4,417	
Window Sills	24.00	LF	30.00	720	
Finish Carpentry					5,137
<u>064000</u> <u>Architectural Woodwork</u>					
Base & Upper Cab's at Staging	6.02	LF	675.00	4,064	
Countertop at Staging	12.09	SF	50.00	605	
New Desk/Work Surface at Office/Waiting	12.01	SF	750.00	9,008	
Architectural Woodwork					13,676
SUBTOTAL WOOD & PLASTICS					210,480
<u>07 0000</u> <u>THERMAL & MOISTURE PROTECTION</u>					
<u>071000</u> <u>Damproofing and Waterproofing</u>					
NONE					
Damproofing and Waterproofing					-
<u>072000</u> <u>Thermal Protection</u>					
Foundation Insulation	1,530	SF	4.50	6,884	
Thermal Protection					6,884
<u>073000</u> <u>Siding Systems</u>					
NONE					
Siding Systems					-
<u>075000</u> <u>Roofing</u>					
EPDM Roof	6,478.95	SF	21.00	136,058	
Scuppers	8.00	SF	500.00	4,000	
New Downspout	8.00	EA	900.00	7,200	
Roofing					147,258
<u>076000</u> <u>Flashing and Sheet Metal</u>					
NONE					
Flashing and Sheet Metal					-
<u>077000</u> <u>Roof specialties and accessories</u>					
NONE					
Roof specialties and accessories					-

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KEHES GROUP, LTDBristol Animal ControlBristol, CT**Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>078000</u>	<u>Fire and Smoke Protection</u>					
	Firestopping	4,015	SF	0.68	2,730	
					-	
	Fire and Smoke Protection					2,730
<u>079000</u>	<u>Joint sealers</u>					
	Misc. caulking, sealant and fire safing	4,015	SF	0.68	2,730	
					-	
	Joint sealers					2,730
	SUBTOTAL THERMAL & MOISTURE PROTECTION					159,602
<u>08 0000</u>	<u>DOORS & WINDOWS</u>					
<u>081000</u>	<u>Metal Doors and Frames</u>					
	Exterior Door, Frame & HW - Single	2	EA	2,400.00	4,800	
	Interior Door, Frame & HW - Single	13	EA	2,200.00	28,600	
	Interior Door, Frame & HW - Pair	2	EA	4,000.00	8,000	
					-	
	Metal Doors and Frames					41,400
<u>082000</u>	<u>Wood and Plastic Doors</u>					
	w/081000					
	Wood and Plastic Doors					-
<u>083000</u>	<u>Specialty Doors</u>					
	Allowance for access doors	1	LS	1,200.00	1,200	
	New Dog Pass Door	26	EA	250.00	6,500	
	Garage Door / OHD	1	LS	10,000.00	10,000	
	Specialty Doors					17,700
<u>084000</u>	<u>Entrances and Storefronts</u>					
	Full-Ht Storefront Wall at Adoptable Cats	195	LF	85.00	16,578	
	Storefront Door Pair at Adoptable Cats	1	EA	4,000.00	4,000	
	Storefront Door Pair at Main Entry	1	EA	4,000.00	4,000	
	Entrances and Storefronts					24,578
<u>008500</u>	<u>Windows</u>					
	Fiberglass Window	4	EA	1,000.00	4,000	
	Fiberglass Window - Double	1	EA	2,000.00	2,000	
	Windows					6,000
<u>088000</u>	<u>Glazing</u>					
	Bathroom Mirrors, installed (2'x3')	1	EA	330.00	330	
	Glazing					330
	SUBTOTAL DOORS & WINDOWS					90,008

09 0000 FINISHES092000 Plaster and Gypsum Board

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
New 5/8" Gypsum Board Ceiling All Areas	1,738	SF	10.00	17,383		
New Interior Walls	2,580	SF	18.00	46,431		
Plaster and Gypsum Board						63,814
093000 <u>Tile</u>						
New Tile Flooring at Restroom	79	SF	22.00	1,746		
New Tile Base at Restroom	39	LF	20.00	776		
Tile						2,522
095000 <u>Ceilings</u>						
NONE						
Ceilings						-
096000 <u>Flooring</u>						
Adoptable Cats - Resilient	203	SF	6.00	1,216		
Back Corridor - Sealed Concrete	79	SF	3.00	238		
Cat Kennels - Sealed Concrete	78	SF	3.00	234		
Cat Quarantine - Sealed Concrete	53	SF	3.00	158		
Decontamination - Sealed Concrete	122	SF	3.00	367		
Dog Meeting Area - Stained/Sealed Concrete	252	SF	6.00	1,511		
Dog Quarantine - Sealed Concrete	132	SF	3.00	396		
Electrical Room - Sealed Concrete	35	SF	3.00	105		
Exterior Kennel Area	1,269	SF	-	-		
Food Storage - Resilient	71	SF	6.00	429		
Garage Corridor - Sealed Concrete	46	SF	3.00	138		
Interior Kennel Area - Sealed Concrete	1,254	SF	3.00	3,761		
Janitor Closet - Sealed Concrete	16	SF	3.00	49		
Kitchenette - Resilient	159	SF	6.00	953		
Main Circulation Corridor - Sealed Concrete	404	SF	3.00	1,213		
Office - Resilient	94	SF	6.00	564		
Reception - Resilient	67	SF	6.00	401		
Flooring						11,733
097000 <u>Wall Finishes</u>						
NONE						
Wall Finishes						-
098000 <u>Acoustical Treatment</u>						
NONE						
Acoustical Treatment						-
099000 <u>Paints and Coatings</u>						
New Interior Partitions	5,159	SF	2.00	10,318		
GWB Ceilings	1,812	SF	2.00	3,623		
Paint Exposed Structure above	1,254	SF	2.50	3,134		
Paint Door Leafs & Frames	17	EA	275.00	4,675		
Paints and Coatings						21,750
SUBTOTAL FINISHES						99,819

10 0000 SPECIALTIES

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>101000</u> <u>Compartments and Cubicles</u>					
NONE					
Compartments and Cubicles					-
<u>102600</u> <u>Identifying devices</u>					
Interior Wayfinding & Room Signage	4,015.00	GSF	0.80	3,212	
Identifying devices					3,212
<u>102700</u> <u>Lockers</u>					
Locker / Storage Cabinet Allowance	1	AL	3,000.00	3,000	
Lockers					3,000
<u>105220</u> <u>Postal equipment</u>					
NONE					
Postal equipment					-
<u>108000</u> <u>Bathroom & toilet accessories</u>					
H/C Grab Bars	2	EA	165.00	330	
Soap dispensers, installed	1	EA	55.00	55	
Paper Towel Dispensers	1	EA	300.00	300	
Toilet paper Dispenser, installed	1	EA	85.00	85	
Waste receptacles, installed	1	EA	160.00	160	
Bathroom & toilet accessories					930
<u>108800</u> <u>Fire Protection Specialties</u>					
FEC's - surface mounted	6	EA	450.00	2,700	
Fire Protection Specialties					2,700
<u>109900</u> <u>Miscellaneous Specialties</u>					
Marker Boards/White Boards	4	EA	1,200.00	4,800	
Miscellaneous Specialties					4,800
SUBTOTAL SPECIALTIES					14,642
<u>11 0000</u> <u>EQUIPMENT</u>					
<u>113100</u> <u>Kitchen Equipment</u>					
Reach-In Refrigerator - Medicines, etc.	1	EA	2,500.00	2,500	
Reach-In Refrigerator for Staff	1	EA	2,500.00	2,500	
Washer/Dryer	1	EA	2,500.00	2,500	
Kitchen Equipment					7,500
SUBTOTAL EQUIPMENT					7,500
<u>12 0000</u> <u>FURNISHING</u>					
<u>124000</u> <u>Furnishings and Accessories</u>					
NONE					

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Furnishings and Accessories -

SUBTOTAL FURNISHING -

13 0000 SPECIAL CONSTRUCTION13120 Special Construction
NONE

Special Construction -

SUBTOTAL SPECIAL CONSTRUCTION -

14 0000 CONVEYING SYSTEM142000 Elevators
NONE

Elevators -

SUBTOTAL CONVEYING SYSTEM -

21 0000 MECHANICAL - FIRE PROTECTION213100 Fire protection piping
NONE

Fire protection piping -

213200 Fire pumps
NONE

Fire pumps -

213300 Wet pipe sprinkler system
NONE

Wet pipe sprinkler system -

213350 Dry pipe sprinkler system
NONE

Dry pipe sprinkler system -

SUBTOTAL FIRE PROTECTION -

22 0000 MECHANICAL - PLUMBING224100 Plumbing piping

New piping	406.25	LF	65.00	26,406
New piping Insulation	406.25	LF	22.00	8,938
2" Gas Piping	312.50	LF	65.00	20,313
Gas Valves & Accessories	1.00	LS	3,500.00	3,500

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	New Sanitary Piping	150.00	LF	75.00	11,250	
	New Sanitary Vent Piping	82.50	LF	65.00	5,363	
	Plumbing piping					75,769
<u>224300</u>	<u>Plumbing specialties</u>					
	Backflow Preventer	1.00	EA	3,500.00	3,500	
	Water Service Meter	1.00	EA	4,500.00	4,500	
	Gas Service Meter	1.00	EA	4,500.00	4,500	
	Trench Drain Cover at Kennels	123	LF	50.00	6,131	
	Plumbing specialties				-	18,631
<u>224400</u>	<u>Plumbing fixtures</u>					
	Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	4	EA	450.00	1,800	
	DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	2,600	
	Double Sink at Kitchenette	1	EA	1,600.00	1,600	
	Drinking Fountain	2	EA	1,800.00	3,600	
	Shower	1	EA	2,200.00	2,200	
	Sink at Decontamination	1	EA	1,200.00	1,200	
	Slop Sink at Decontamination	1	EA	1,400.00	1,400	
	Floor Sink at Janitor Closet	1	EA	1,200.00	1,200	
	Toilet	1	EA	1,200.00	1,200	
	Wall Mounted Sink at Restroom	1	EA	1,200.00	1,200	
	Plumbing fixtures				-	18,000
<u>224500</u>	<u>Plumbing equipment</u>					
	Allowance for equipment not yet defined	1	LS	3,000.00	3,000	
	Plumbing equipment				-	3,000
<u>224750</u>	<u>Pool & fountain equipment</u>					
	NONE					
	Pool & fountain equipment					-
<u>224800</u>	<u>Special systems</u>					
	Flush Testing	1	LS	2,500.00	2,500	
	Commissioning	1	LS	2,500.00	2,500	
	Special systems					5,000
	SUBTOTAL MECHANICAL - PLUMBING					120,400

23 0000 **MECHANICAL - HVAC**235100 Hydronic & refrigerant piping
NONE

Hydronic & refrigerant piping

235500 Heat generation
NONE

Heat generation

236500 Refrigeration

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			4,015	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Condensing Unit CU-1	1	EA	5,500.00	5,500	
Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	76	LF	60.00	4,568	
Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	78	LF	60.00	4,658	
Refrigeration					14,725
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
AHU-1 / Furnace	1	EA	8,400.00	8,400	
Air handling					52,950
<u>238800</u> <u>Air distribution</u>					
Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
Exhaust Grille at Isolation	1	EA	300.00	300	
Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
Supply Grille at General Areas	6	EA	300.00	1,800	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					67,614
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
Controls					5,700
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	3,500.00	3,500	
Testing & balancing					3,500
SUBTOTAL HVAC					144,489
<u>26 0000</u> <u>ELECTRICAL</u>					
<u>262000</u> <u>Power generation</u>					
Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road	1	LS	25,000.00	25,000	
New exterior meter on right side of building entrance	1	EA	5,000.00	5,000	
Reconnect Existing Generator	1	EA	6,500.00	6,500	

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

	DESCRIPTION	BUILDING AREA			4,015	GSF
		QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	Power generation					36,500
<u>263000</u>	<u>Medium voltage distribution</u>					
	Medium Voltage Distribution Throughout	4,015.00	SF	2.50	10,038	
	Medium voltage distribution					10,038
<u>264000</u>	<u>Service & distribution</u>					
	Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000	
	New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	3,000.00	3,000	
	60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400	
	Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	3,800.00	3,800	
	Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	3,725.00	3,725	
	New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	3,660.00	3,660	
	Dedicated electrical circuit with local fused disconnect switch at new Furnace	1	LS	3,660.00	3,660	
	Service & distribution					22,245
<u>265000</u>	<u>Lighting</u>					
	New Lighting Allowance	4,015	GSF	6.00	24,090	
	New Exterior Light (Round)	2	EA	800.00	1,600	
	Lighting					25,690
<u>266000</u>	<u>Special systems</u>					
	Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	4,015	SF	1.50	6,023	
	120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00	4,400	
	Grounding & bonding	1	LS	7,500.00	7,500	
	Wireless hub/router	4	EA	1,000.00	4,000	
	TVSS & Misc Surge Protection	1	LS	2,500.00	2,500	
	Submittals & Shop drawings	1	LS	2,500.00	2,500	
	Operating Manuals & Training	1	LS	2,500.00	2,500	
	Special systems				-	29,423
<u>267000</u>	<u>Communication</u>					
	Telephone wiring from central switch / Cat 6 cabling	1	LS	2,000.00	2,000	
	Communication				-	2,000
<u>268500</u>	<u>Electric resistance heating</u>					
	w/HVAC				-	
	Electric resistance heating				-	

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>269000</u>	<u>Controls</u>					
	NONE				-	
	Controls				-	
<u>269500</u>	<u>Testing</u>					
	Testing, Inspections & Certifications	1	LS	6,500.00	6,500	
	Testing				-	6,500
	SUBTOTAL ELECTRICAL					132,395

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
31.0000	SITE WORK					
310500	<u>Demolition</u>					
	NONE					
	Demolition					
312000	<u>Site preparation</u>					
	Construction Entrance	2,000	SF	2.00	4,000	
	Silt Fence	500	LF	1.85	925	
	Anti-Tracking Pad	800	SF	4.00	3,200	
	Street Cleaning	1	LS	2,500.00	2,500	
	Traffic Control/signage	1	LS	2,000.00	2,000	
	Site Cleanup	1	LS	2,500.00	2,500	
	Temporary construction barrier	300	LF	14.00	4,200	
	Topsoil Stockpile Area	2,000	SF	4.00	8,000	
	Site preparation					27,325
313000	<u>Earthwork</u>					
	Excavation/backfill at new underground utility lines	444	CY	65.00	28,889	
	Excavation/backfill at new foundations	127	CY	50.00	6,338	
	Bulk building excavation	4,710	CY	8.50	40,035	
	Proof-rolling at slab	2,355	SF	2.00	4,710	
	Furnish & spread gravel base / Fine Grading at Slab	2,355	SF	2.10	4,946	
	Furnish & spread gravel base / Fine Grading at pavement areas	20,000	SF	2.10	42,000	
	Additional 6" crushed stone at interior slab	55	CY	30.00	1,635	
	Earthwork					128,553
315000	<u>Utility Services</u>					
	New Utilities Allowance - Electric	1	LS	15,000.00	15,000	
	New Utilities Allowance - Water	1	LS	15,000.00	15,000	
	New Utilities Allowance - Sanitary	1	LS	15,000.00	15,000	
	New Utilities Allowance - Storm	1	LS	15,000.00	15,000	
	New Utilities Allowance - Gas	1	LS	15,000.00	15,000	
	Utility Services					75,000
318000	<u>Site Improvements and Amenities</u>					
	Lawn / Sod Areas	9,420	SF	0.50	4,710	
	Plantings	1	LS	2,000.00	2,000	
	New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	41.71	SF	35.00	1,460	
	New Exterior Chain Link	183.62	LF	16.50	3,030	
	New Exterior Chain Link @ Kennels	385.68	LF	16.50	6,364	
	New Exterior Chain Link Gate (3'-2") @ Kennels	22	EA	350.00	7,700	
	New Interior Chain Link @ Kennels	424.47	LF	16.50	7,004	
	New Interior Chain Link Gate (3'-2") @ Kennels	25	EA	350.00	8,750	
	Site Improvements and Amenities					41,017
319500	<u>Site Restoration and Rehabilitation</u>					
	Misc Site Restoration Allowance	1	LS	2,000.00	2,000	
	Site Restoration and Rehabilitation					2,000
	SUBTOTAL SITE WORK					273,895

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

03 3000 CONCRETE**031000 Concrete Forms and Accessories**

Misc. MEP housekeeping pads

1 LS 2,000.00 2,000

Concrete Forms and Accessories

2,000

033000 Cast - In - Place Concrete (Foundation)

Continuous Spread Footing - 3'-0" W x 1'-0" H

213.90 LF

Formwork (2-sided)

427.80 SF

15.00 6,417

Rebar - 100# / CY

1.31 TON

1,875.00 2,451

Concrete - material

26.14 CY

110.00 2,876

Concrete - place

26.14 CY

100.00 2,614

Frost Walls - 1'-0" W x 4'-0" H

213.90 LF

-

Formwork (2-sided)

1,711.20 SF

15.00 25,668

Rebar - 75# / CY

2.61 TON

1,875.00 4,902

Concrete - material

69.72 CY

110.00 7,669

Concrete - place

69.72 CY

100.00 6,972

Pump time - General

1.00 DAYS

800.00 800

New Slab on Grade (Kennel #1)

514 SF

-

Concrete materials (5" thickness)

8.72 CY

110.00 959

Edge form

1,217.00 LF

6.00 7,302

Place Concrete

513.75 SF

6.00 3,083

Trowel Finish Concrete

513.75 SF

1.00 514

#4 bar reinforcing at 12" OC each way

513.75 SF

6.00 3,083

Cure and Seal

513.75 SF

0.50 257

15 mil vapor barrier under slabs

513.75 SF

1.00 514

Pump

-

DAYS 1,100.00 -

New Slab on Grade (Kennel #2)

514 SF

-

Concrete materials (5" thickness)

8.72 CY

110.00 959

Edge form

1,217.00 LF

6.00 7,302

Place Concrete

513.68 SF

6.00 3,082

Trowel Finish Concrete

513.68 SF

1.00 514

#4 bar reinforcing at 12" OC each way

513.68 SF

6.00 3,082

Cure and Seal

513.68 SF

0.50 257

15 mil vapor barrier under slabs

513.68 SF

1.00 514

Pump

-

DAYS 1,100.00 -

New Slab on Grade (Kennel #3)

470 SF

-

Concrete materials (5" thickness)

7.97 CY

110.00 877

Edge form

1,217.00 LF

6.00 7,302

Place Concrete

469.59 SF

6.00 2,818

Trowel Finish Concrete

469.59 SF

1.00 470

#4 bar reinforcing at 12" OC each way

469.59 SF

6.00 2,818

Cure and Seal

469.59 SF

0.50 235

15 mil vapor barrier under slabs

469.59 SF

1.00 470

Pump

-

DAYS 1,100.00 -

New Slab at General Areas

858 SF

-

Concrete materials (5" thickness)

14.56 CY

110.00 1,602

Edge form

1,217.00 LF

6.00 7,302

Place Concrete

857.98 SF

6.00 5,148

Trowel Finish Concrete

857.98 SF

1.00 858

#4 bar reinforcing at 12" OC each way

857.98 SF

6.00 5,148

Cure and Seal

857.98 SF

0.50 429

15 mil vapor barrier under slabs

857.98 SF

1.00 858

Pump

-

DAYS 1,100.00 -

Slab Trough @ Kennel Areas

169.61 LF

25.00 4,240

Exterior Concrete Pad for new DOAS Unit

240.00 SF

25.00 6,000

Exterior Sidewalks/Misc Flatwork

1.00 LS

10,000.00 10,000

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Cast - In - Place Concrete (Foundation) 148,361

033000 Cast - In - Place Concrete (Super Structure)
NONE

Cast - In - Place Concrete (Super Structure) -

SUBTOTAL CONCRETE 150,361

04 0000 **MASONRY**042000 Masonry Units

Exterior CMU Wall 2140 SF 40.00 85,600
Staging/scaffolding 2,140.00 SF 10.00 21,400

New Precast Curb @ Perimeter of Wood Framed Office 49.28 LF 40.00 1,971

Masonry Units 108,971

049000 Masonry Restoration and Cleaning
NONE

Masonry Restoration and Cleaning -

SUBTOTAL MASONRY 108,971

05 0000 **METAL**

051000 Structural Steel
NONE

Structural Steel -

052000 Metal Joists
NONE

Metal Joists -

053000 Metal Deck
NONE

Metal Deck -

055000 Metal Fabrications

New 4x4 Galvanized Steel Tube 9.00 EA 1,500.00 13,500
New Mechanical Catwalk Access Ladder 1.00 EA 3,000.00 3,000

Metal Fabrications 16,500

058000 Expansion Control
NONE

Expansion Control -

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

DESCRIPTION	BUILDING AREA			2,355	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

SUBTOTAL METAL 16,500

06 0000 WOOD & PLASTICS061000 Rough Carpentry

Roof Trusses @ 24" OC	26	EA	800.00	20,800	
Roof Blocking/fasteners	2,355	LF	4.25	10,009	
Lift rental	1	LS	6,500.00	6,500	
Misc. general hardware, fasteners	2,355	SF	3.50	8,243	
Rough Carpentry - misc. blocking, etc.	2,355	SF	1.00	2,355	
Temp Protection Allowance	1	LS	3,000.00	3,000	
Safety & Maintenance	1	LS	5,000.00	5,000	

Rough Carpentry 55,906

062000 Finish Carpentry

Running Trim/mouldings	2,355	SF	1.10	2,591	
Window Sills	24.00	LF	30.00	720	

Finish Carpentry 3,311

064000 Architectural Woodwork

Base & Upper Cab's at Staging	6.02	LF	700.00	4,214	
Countertop at Staging	12.09	SF	50.00	605	
New Desk/Work Surface at Office/Waiting	12.01	SF	800.00	9,608	

Architectural Woodwork 14,427

SUBTOTAL WOOD & PLASTICS

73,643

07 0000 THERMAL & MOISTURE PROTECTION071000 Damproofing and Waterproofing

NONE

Damproofing and Waterproofing -

072000 Thermal Protection

Foundation Insulation	856	SF	4.50	3,850	
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Thermal Protection 3,850

073000 Siding Systems

New Fascia Trim w/Aluminum Wrap	198.67	LF	30.00	5,960	
New Exterior Wall Louver	2.00	EA	500.00	1,000	
New 2" Rigid insulation over CMU	1,964.28	SF	4.00	7,857	
New 2" Z-Channel @ 24" OC	1,964.28	SF	4.00	7,857	
New 5/8" Sheathing over CMU	1,964.28	SF	6.50	12,768	
New AVB over CMU	1,964.28	SF	4.00	7,857	
New Cementitious Fiberboard Siding over CMU	1,964.28	SF	10.00	19,643	

Siding Systems 62,942

075000 Roofing

Roof Sheathing	901.48	SF	10.00	9,015	
New Architectural Shingle Roof throughout	901.48	SF	10.00	9,015	
New Downspout	5.00	EA	900.00	4,500	
New Gutters	104.26	LF	16.00	1,668	

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Roofing					24,198
<u>076000</u> <u>Flashing and Sheet Metal</u>					
NONE					
Flashing and Sheet Metal					-
<u>077000</u> <u>Roof specialties and accessories</u>					
NONE					
Roof specialties and accessories					-
<u>078000</u> <u>Fire and Smoke Protection</u>					
Firestopping	2,355	SF	0.68	1,601	
Fire and Smoke Protection					1,601
<u>079000</u> <u>Joint sealers</u>					
Misc. caulking, sealant and fire safing	2,355	SF	0.68	1,601	
Joint sealers					1,601
SUBTOTAL THERMAL & MOISTURE PROTECTION					94,193
<u>08 0000</u> <u>DOORS & WINDOWS</u>					
<u>081000</u> <u>Metal Doors and Frames</u>					
Exterior Door, Frame & HW - Single	1	EA	2,400.00	2,400	
Exterior Door, Frame & HW - Single w/Sidelite	2	EA	2,800.00	5,600	
Interior Door, Frame & HW - Single	9	EA	2,200.00	19,800	
Interior Pair of Slider Closet Doors	2	EA	2,000.00	4,000	
Metal Doors and Frames					31,800
<u>082000</u> <u>Wood and Plastic Doors</u>					
w/081000					
Wood and Plastic Doors					-
<u>083000</u> <u>Specialty Doors</u>					
Allowance for access doors	1	LS	1,200.00	1,200	
New Dog Pass Door	22	EA	250.00	5,500	
Specialty Doors					6,700
<u>084000</u> <u>Entrances and Storefronts</u>					
NONE					
Entrances and Storefronts					-
<u>008500</u> <u>Windows</u>					
Fiberglass Window	2	EA	1,000.00	2,000	
Fiberglass Window - Double	1	EA	2,000.00	2,000	
Windows					4,000

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>088000</u> <u>Glazing</u>					
Bathroom Mirrors, Installed (2'x3')	1	EA	330.00	330	
Glazing					330
SUBTOTAL DOORS & WINDOWS					42,830
<u>09 0000</u> FINISHES					
<u>092000</u> <u>Plaster and Gypsum Board</u>					
New 5/8" Gypsum Board Ceiling All Areas	788	SF	10.00	7,883	
New Interior Walls	2,200	SF	18.00	39,604	
Plaster and Gypsum Board					47,486
<u>093000</u> <u>Tile</u>					
New Tile Flooring at Restroom	21	SF	22.00	472	
New Tile Base at Restroom	16	LF	20.00	317	
Tile					789
<u>095000</u> <u>Ceilings</u>					
NONE					
Ceilings					-
<u>096000</u> <u>Flooring</u>					
New Concrete Sealer at Isolation	38	SF	3.00	115	
New Base at Isolation	25	LF	5.00	124	
New Resilient Flooring at Main Corridors at Center of Building	255	SF	7.00	1,787	
New Base at Main Corridors at Center of Building	83	LF	5.00	414	
New Resilient Flooring at Office/Waiting	244	SF	7.00	1,706	
New Base at Office/Waiting	88	LF	5.00	439	
New Resilient Flooring at Staging	127	SF	7.00	888	
New Base at Storage	40	LF	5.00	201	
Flooring					5,671
<u>097000</u> <u>Wall Finishes</u>					
NONE					
Wall Finishes					-
<u>098000</u> <u>Acoustical Treatment</u>					
NONE					
Acoustical Treatment					-
<u>099000</u> <u>Paints and Coatings</u>					
Wall Painting at Isolation	247	SF	2.00	494	
Wall Painting at Main Corridors at Center of Building	829	SF	2.00	1,657	
Wall Painting at Office/Waiting Walls	877	SF	2.00	1,755	
Wall Painting at Restroom	159	SF	2.00	317	
Wall Painting at Staging	424	SF	2.00	848	
Wall Painting at Storage	401	SF	2.00	803	
GWB Ceilings	788	SF	2.00	1,576	
Paint Exposed Structure above	1,497	SF	2.50	3,743	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Paint Exterior Cementitious Fiberboard Siding	1,964	SF	3.00	5,893	
Paint Door Leafs & Frames	14	EA	275.00	3,850	
Paints and Coatings					20,936
SUBTOTAL FINISHES					74,882
10 0000 SPECIALTIES					
101000 Compartments and Cubicles					
NONE					
Compartments and Cubicles					-
102600 Identifying devices					
Interior Wayfinding & Room Signage	2,355.00	GSF	0.80	1,884	
Identifying devices					1,884
102700 Lockers					
Locker / Storage Cabinet Allowance	1	AL	3,000.00	3,000	
Lockers					3,000
105220 Postal equipment					
NONE					
Postal equipment					-
108000 Bathroom & toilet accessories					
H/C Grab Bars	2	EA	165.00	330	
Soap dispensers, installed	1	EA	55.00	55	
Paper Towel Dispensers	1	EA	300.00	300	
Toilet paper Dispenser, installed	1	EA	85.00	85	
Waste receptacles, installed	1	EA	160.00	160	
Bathroom & toilet accessories					930
108800 Fire Protection Specialties					
FEC's - surface mounted	5	EA	450.00	2,250	
Fire Protection Specialties					2,250
109900 Miscellaneous Specialties					
Marker Boards/White Boards	4	EA	1,200.00	4,800	
Miscellaneous Specialties					4,800
SUBTOTAL SPECIALTIES					12,864
11 0000 EQUIPMENT					
113100 Kitchen Equipment					
Reach-In Refrigerator - Medicines, etc.	1	EA	2,500.00	2,500	
Reach-In Refrigerator for Staff	1	EA	2,500.00	2,500	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Kitchen Equipment					5,000
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SUBTOTAL EQUIPMENT					5,000
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12 0000 FURNISHING

124000 Furnishings and Accessories
NONE

Furnishings and Accessories					-
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SUBTOTAL FURNISHING					-
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13 0000 SPECIAL CONSTRUCTION

13120 Special Construction
NONE

Special Construction					-
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SUBTOTAL SPECIAL CONSTRUCTION					-
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14 0000 CONVEYING SYSTEM

142000 Elevators
NONE

Elevators					-
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SUBTOTAL CONVEYING SYSTEM					-
---------------------------	--	--	--	--	---

21 0000 MECHANICAL - FIRE PROTECTION

213100 Fire protection piping
NONE

Fire protection piping					-
------------------------	--	--	--	--	---

213200 Fire pumps
NONE

Fire pumps					-
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213300 Wet pipe sprinkler system
NONE

Wet pipe sprinkler system					-
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213350 Dry pipe sprinkler system
NONE

Dry pipe sprinkler system					-
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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

SUBTOTAL FIRE PROTECTION

22 0000 MECHANICAL - PLUMBING224100 Plumbing piping

New piping	325.00	LF	65.00	21,125	
New piping Insulation	325.00	LF	22.00	7,150	
2" Gas Piping	250.00	LF	65.00	16,250	
Gas Valves & Accessories	1.00	LS	3,500.00	3,500	
New Sanitary Piping	120.00	LF	75.00	9,000	
New Sanitary Vent Piping	66.00	LF	65.00	4,290	

Plumbing piping 61,315

224300 Plumbing specialties

Backflow Preventer	1.00	EA	3,500.00	3,500	
Water Service Meter	1.00	EA	4,500.00	4,500	
Gas Service Meter	1.00	EA	4,500.00	4,500	
Trench Drain Cover at Kennels	170	LF	50.00	8,481	

Plumbing specialties - 20,981

224400 Plumbing fixtures

Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	6.00	EA	450.00	2,700	
DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	2,600	
New Sink at Restroom	1	EA	1,200.00	1,200	
New Sink at Staging	1	EA	1,600.00	1,600	
New Toilet at Restroom	1	EA	1,200.00	1,200	

Plumbing fixtures - 9,300

224500 Plumbing equipment

Allowance for equipment not yet defined	1	LS	3,000.00	3,000	
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Plumbing equipment - 3,000

224750 Pool & fountain equipment

NONE

Pool & fountain equipment -

224800 Special systems

Flush Testing	1	LS	2,500.00	2,500	
Commissioning	1	LS	2,500.00	2,500	

Special systems 5,000

SUBTOTAL MECHANICAL - PLUMBING 99,596

23 0000 MECHANICAL - HVAC235100 Hydronic & refrigerant piping

NONE

Hydronic & refrigerant piping -

235500 Heat generation

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
NONE					
Heat generation					-
<u>236500</u> <u>Refrigeration</u>					
Condensing Unit CU-1	1	EA	5,500.00	5,500	
Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	61	LF	60.00	3,654	
Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	62	LF	60.00	3,726	
Refrigeration					12,880
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					-
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
AHU-1 / Furnace in Storage 104	1	EA	8,400.00	8,400	
Air handling					52,950
<u>238800</u> <u>Air distribution</u>					
Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
Exhaust Grille at Isolation	1	EA	300.00	300	
Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
Supply Grille at General Areas	6	EA	300.00	1,800	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					67,614
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
Controls					5,700
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	3,500.00	3,500	
Testing & balancing					3,500
SUBTOTAL HVAC					142,644

26 0000 ELECTRICAL

7/28/2022

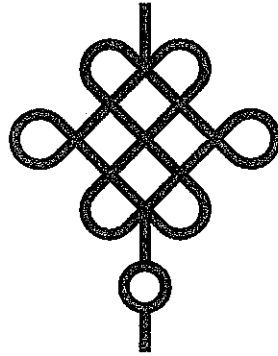
KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
262000	<u>Power generation</u> Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road New exterior meter on right side of building entrance Reconnect Existing Generator Power generation	1 1 1	LS EA EA	25,000.00 5,000.00 6,500.00	25,000 5,000 6,500	 36,500
263000	<u>Medium voltage distribution</u> Medium Voltage Distribution Throughout Medium voltage distribution	2,355.00	SF	2.00	4,710	 4,710
264000	<u>Service & distribution</u> Remove & Maske-safe Existing Equipment Connections New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103 60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A" Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A. New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A. Dedicated electrical circuit with local fused disconnect switch at new Furnace Service & distribution	4 1 1 1 1 1 1	LS LS EA LS LS LS LS	1,000.00 1,000.00 400.00 2,200.00 2,125.00 2,060.00 2,060.00	4,000 1,000 400 2,200 2,125 2,060 2,060	 13,845
265000	<u>Lighting</u> New Lighting Allowance New Exterior Light (Round) Lighting	2,355 2	GSF EA	6.00 800.00	14,130 1,600	 15,730
266000	<u>Special systems</u> Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes 120V GFI duplex outlet at DOAS/CU-1 pad for service Grounding & bonding Wireless hub/router TVSS & Misc Surge Protection Submittals & Shop drawings Operating Manuals & Training Special systems	2,355 2 1 4 1 1 1	SF EA LS EA LS LS LS	1.00 2,200.00 7,500.00 1,000.00 2,500.00 2,500.00 2,500.00	2,355 4,400 7,500 4,000 2,500 2,500 2,500	 25,755
267000	<u>Communication</u> Telephone wiring from central switch / Cat 6 cabling Communication	1	LS	2,000.00	2,000 -	 2,000

7/28/2022

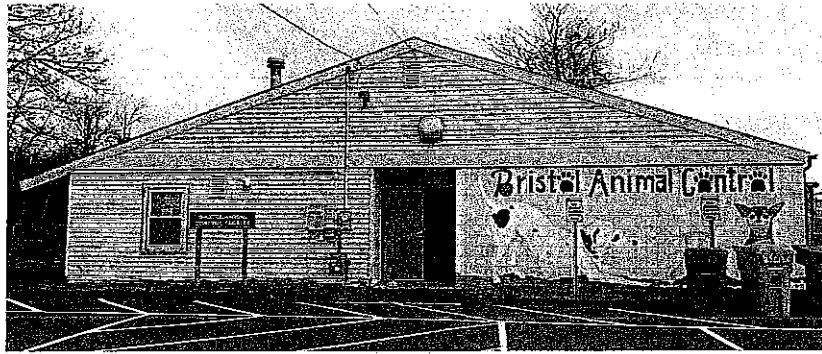
KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>268500</u>	<u>Electric resistance heating</u> w/HVAC				-	-
	Electric resistance heating				-	-
<u>269000</u>	<u>Controls</u> NONE				-	-
	Controls				-	-
<u>269500</u>	<u>Testing</u> Testing, Inspections & Certifications	1	LS	6,500.00	6,500	
	Testing					6,500
	SUBTOTAL ELECTRICAL					105,040



Appendix C

Schematic Design
Narrative



Bristol Animal Facility MEP & Building Assessment

126 Vincent P Kelly Rd
Bristol, CT 06010

M.E.P. SCHEMATIC DESIGN NARRATIVE (EXISTING BUILDING)

Prepared for:

Raymond Rogozinski
Director of Public Works
City of Bristol
Bristol, CT 06011

Date:

May 27, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc
10 Talcott Notch Road
Farmington, CT 06032

van Zelm #2021200.00

VAN ZELM
ENGINEERS

HEATING, VENTILATION AND AIR CONDITIONING

HVAC Demolition

Existing ceiling hung gas unit heaters and all associated, flues, and wiring to be removed back to the source and made safe. Gas piping removal shall be covered under Plumbing Contractor.

Remove and replace ceilings in area of renovation to allow access for new construction. Ceiling replacement shall occur after completion of MEP work, Refer to architectural drawings for details.

Remove all associated Kennel area exhaust distribution ductwork as well as both end gable exhaust fans. Remove all wiring back to panel and make safe. Remove all associated flues from Unit Heaters, water heater in their entirety. Refer to architectural drawings for room ceiling and roof patching.

Note: It is assumed that there is no asbestos or lead in the work zone. Remediation is not included in this scope of work.

HVAC New Work (Kennel area system)

Provide new concrete pad for new exterior DOAS Unit serving the three kennels.

Provide new plenum and new Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans. System shall be capable of delivering 2,400 CFM of outdoor air @ 55°F summer conditions and 85°F winter outdoor air conditions. This CFM to the three kennels will equate to approximately 12 A/C per hour. Unit shall sit on 12 high concrete pad provided by General contractor. Unit shall be provided with 24" high plenum below unit on pad to allow bottom supply and exhaust ductwork to and from DOAS. Pad shall allow unit to sit approx. 6'-0" off building wall for code required electrical clearances at high voltage connection point. Refer to sketch for additional details

Provide new gas line from new gas meter location as required. Meter and distribution piping may need to be increased to serve new loads. Coordinate all gas piping with Plumbing Contractor.

Provide supply and exhaust ductwork with aluminum foil wrap to protect insulation from UV exposure as well as keep insulation dry. Ductwork shall run under galvanized platform to building wall and rise into attic space. Gable end on roof provided by Architect.

This system shall run 24/7 and maintain a steady constant room temperature inside each kennel. Utilizing 100% O.A. each room will be treated as an independent zone helping to create a clean safe environment. (Refer to HVAC schematic plan).

HVAC New Work (Office system)

Due to the age and condition of the existing office heating unit we would suggest a new gas-fired condensing furnace with factory supplied "A" coil for DX cooling. Furnace and DX coils shall be in Storage #104 with new associated 2-Ton condensing unit (CU-1) outdoors on new pad. Coordinate new pad with generator and DOAS locations. Provide refrigerant line between furnace and CU-1 as required. Provide new combination flue and combustion air intake up through roof for both furnace and domestic gas fire water heater. Note: (The use of existing generator size will depend upon the City's Emergency power requirements. For now, the existing Generator is to remain although location may change to allow Mechanical equipment installations).

Provide all associated refrigerant piping from pad-mounted CU-1 to new Furnace in Storage #104. Refrigerant suction piping shall be insulation with proper support and pitch. Exposed refrigerant insulation shall have aluminum covers to protect insulation from UV rays. Provide a pipe hide system down exterior wall near CU-1.

Air Distribution Systems

Supply Ductwork from DOAS shall serve each Kennel room. Diffusers shall be aluminum due to wet locations. There will be four diffusers per each kennel at roughly 200 CFM each. Each kennel return grilles shall have removable filter housings which can be serviced and changed out from kennel floor. Grill shall be similar to 350RLF1-1 14"x14" Surface mounted in each corner on the corridor side of the room @ 400 CFM each. Individual branch ducts serving each diffuser shall be 8" round unless otherwise noted. Each distribution ductwork shall have means of balancing each diffuser individually.

Building Automation System

Temperature control for the DOAS shall be through the Daikin controls. System shall control as one single zone. Return air sensor located in the common return duct shall provide room control setpoint. DOAS will be scheduled to run 24/7 with a wall mounted on/off switch located in Office #108. Office system shall be controlled by new associated wall thermostat located in Office 108.

Restroom #106 upgrades

Restroom exhaust is currently by an exhaust fan with ductwork leaving the building up through the roof. Although nothing is required here, we would recommend a new inline fan as manufactured by Soler & Palau, Model #PV-100X, designed to provide 150 CFM @ 1.5" static pressure. Existing toilet ductwork to be reused with proper transition above ceiling. Fan should be tied into new light switch for control. An additional timer switch could be added to allow fan to run for 5 minutes (adjustable) after occupancy.

PLUMBING

Plumbing Demolition

Existing Gas fire water heater is nearing the end of its useful life @12 years old. (Man. Date 4/7/2010) Heater can remain but should be considered for replacement. If nothing else tank should be moved and set inside containment with leak detection alarm and automatic water shut off in case leakage detected.

All gas piping to kennel Unit heater shall be removed back to mains with seal caps. Existing line exterior to the building serving the generator shall remain until new gas line is installed which will run in attic space. Once new line is installed, tested and completed, existing exterior line shall be removed.

Plumbing New work

New gas line from new meter shall be provided to new DOAS, Existing Generator, new Furnace and new or relocated gas water heater.

Provide Furnace with new condensate/condensing removal pump by Little Giant VCMA-15UL piped to Janitor's Closet.

Trench drains and plumbing lines to remain.

ELECTRICAL

Electrical Demolition

There will be limited electrical demolition work to support the HVAC portion of this project. Remove and make safe electrical feeds for Furnace removal and (3) unit heaters. Refer to HVAC demolition above for additional electrical scope of work.

Electrical New Scope

Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road. Provide new exterior meter on right side of building entrance and extend electric service into building to a new 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103.

Disconnect and remove existing overhead electric service to existing panel "A" on left side of building entrance.

Provide a 60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A". All existing electrical loads currently served by Panel "A" shall remain in place and

operational, except as noted.

Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational.

Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.

Provide new 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Refer to mechanical drawings for location. Provide unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.

Provide 120V GFI duplex outlet at DOAS/CU-1 pad for service.

Provide dedicated electrical circuit with local fused disconnect switch at new Furnace. Refer to HVAC drawings for location. Provide wall outlet for condensate pump.

Toilet exhaust fan shall use existing power circuit, occupancy sensor to be provided and installed to control bathroom lights with auxiliary contacts for new exhaust fan control.

PLUMBING/FIRE PROTECTION

Existing Plumbing and Demolition

There is limited plumbing demolition in this scope of work other than the removal of the trench drain piping supplies, Unit heaters gas piping, and misc. water serving trough drains. This is dependent on the architectural requirement so more adjustments will be made later. All Gas piping to Kennel Unit heaters shall be remove and brought back to the gas main and made safe.

New Plumbing Scope

Provide insulated condensate drain line from the new furnace and DX drain pan to and from the Little Giant pump locate in storage 104. Pumped condensate to be piped to janitor's sink with an indirect fitting.

Provide new gas meter sized for the renovated building new loads.

Provide new gas piping from meter to DOAS unit, Heating furnace, water heater and new generator as required. All gas piping shall be welded black Iron malleable fittings with all gas pipe painted yellow. Provide proper clevis hangers as required. Provide individual gas shut off as each piece of equipment served.

Existing Fire Protection and Demolition

There are no sprinklers in this building so no new work is anticipated.

New Fire Protection Scope

There are no sprinklers in this building so no new work is anticipated.

New Pad Requirements

Refer to architectural plans for details on structural pads for Generator, DOAS, and Condensing units. Exact locations to be determined.

---End of M.E.P. Schematic Design Narrative ---

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VANZELM ENGINEERS
100 FAIRVIEW AVENUE, SUITE 200
BRISTOL, CONNECTICUT 06010
TEL: 860.339.1234 FAX: 860.339.1235
WWW.VANZELMENGINEERS.COM

BRISTOL ANIMAL SHELTER
AIR CONDITIONING
MODIFICATIONS
VINCENT P. KELLY ROAD
BRISTOL, CONNECTICUT

PROJECT NAME:

DATE: 05/27/2022

DESIGNED BY: VES

CHECKED BY: VES

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: M101

MECHANICAL
NEW WORK
FLOOR PLAN

DATE: 05/27/2022

DESIGNED BY: VES

CHECKED BY: VES

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: M101

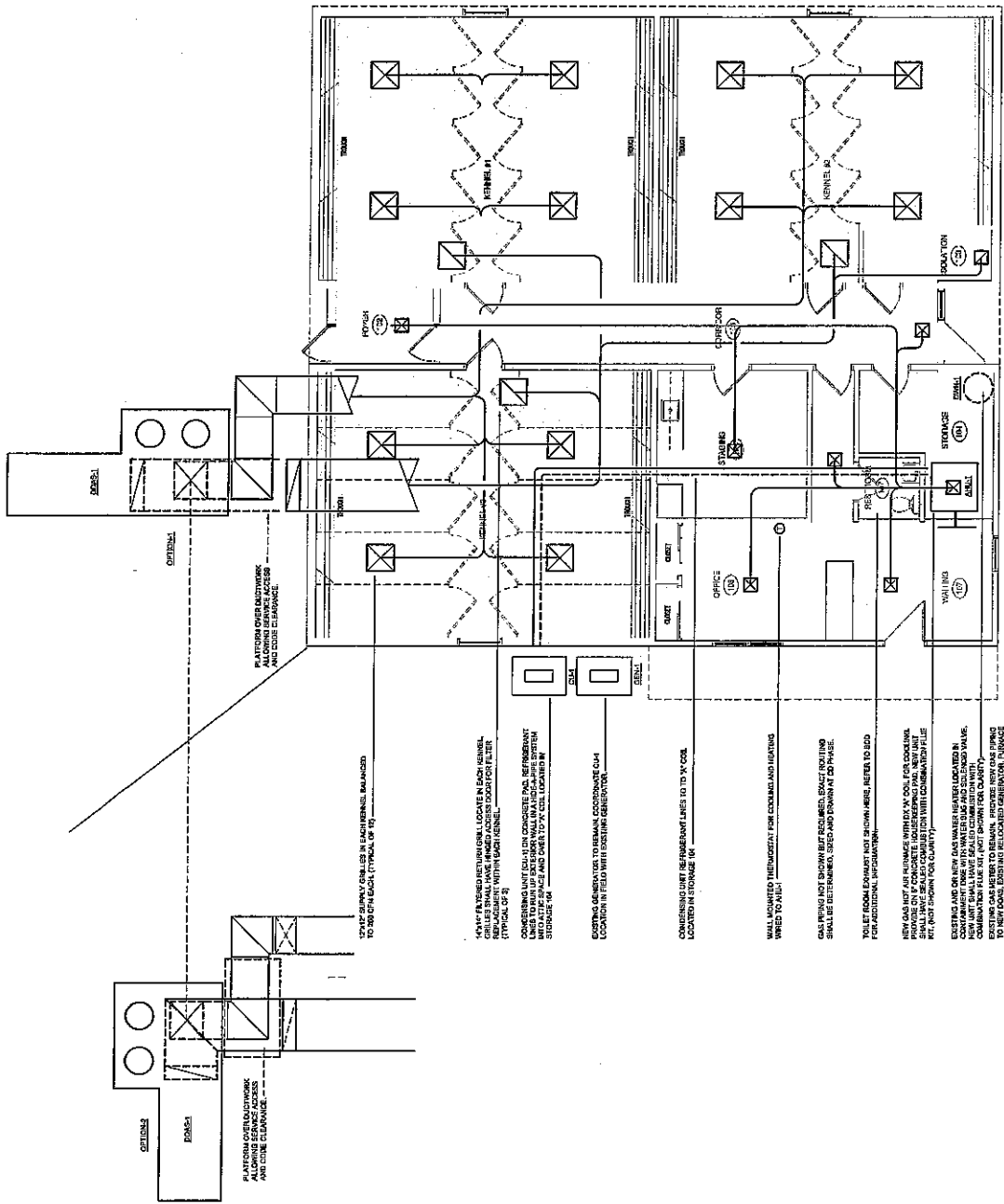
DATE: 05/27/2022

DESIGNED BY: VES

CHECKED BY: VES

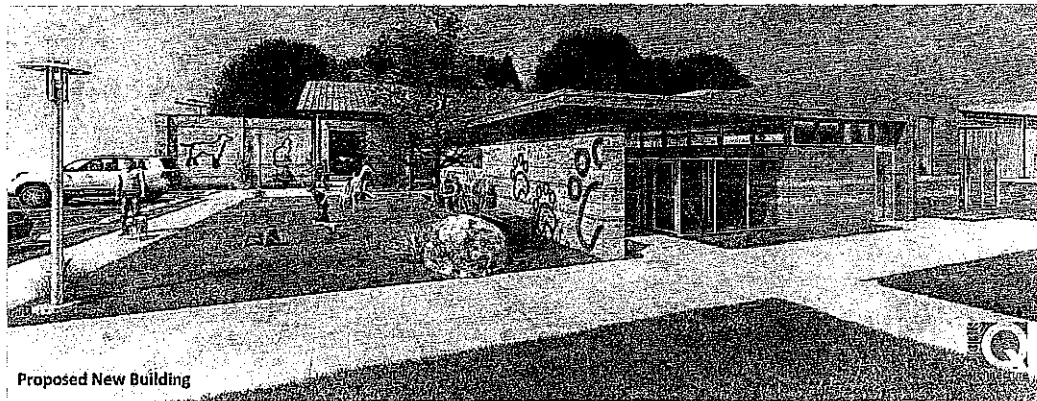
SCALE: 1/4" = 1'-0"

PROJECT NUMBER: M101



1 MECHANICAL NEW WORK PARTIAL PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION
MAY 27, 2022



Bristol Animal Facility MEP & Building Assessment

126 Vincent P Kelly Rd
Bristol, CT 06010

M.E.P. SCHEMATIC DESIGN NARRATIVE (NEW BUILDING)

Prepared for:

Raymond Rogozinski
Director of Public Works
City of Bristol
Bristol, CT 06011

Date:
July 20, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc
10 Talcott Notch Road
Farmington, CT 06032

van Zelm #2021200.00

VANZELM
ENGINEERS

I. Plumbing:

Domestic water is supplied through a city water service from Vincent P. Kelly Road. It will enter the new building enters the building at the Northeast corner of the sally port room where it is piped though a meter and associated backflow preventer racked on the wall. Piping at this point distributes throughout the building to various fixtures. A 1-1/4" cold water line will run to the 80 Gallon gas fired water heater located in the Electrical room. Domestic water heater shall have sealed combustion and flue to the exterior of the building. Additionally, a 1" insulated cold water line will distribute to the bathroom and kitchenette and decontamination fixtures. A 1" insulated Hot water line will also feed bathroom, kitchenette, and Decontamination fixtures. Hot water line will recirculate with a balance valve over the kitchenette ceiling. All fixtures shall have HW, CW, Waste, and Vent lines as required by code.

Animal holding pens are washed and drained by a trough located on each side of the pen with the 6" inlet at the end on the exterior side of the building. The outlet then extends outside to the site sanitary system. There will be a trench crossing support system over the trough which will be provided to allow dogs access to the exterior runs. This crossing ramp will be removable stainless-steel frame with anti-skid surface.

Two hot and cold-water mixing faucets with a hose attachment are provided for washing down the interior pens, one on each side. There are two additional exterior wash downs for the exterior pens. Isolation valves and vacuum breakers will be provided at each hose bibb faucet installations.

A new deep stainless steel counter type sink will be provided in decontamination room with HW, CW, Waste, and Vent as required by code.

The roof drainage on the flat roofs shall be provided with secondary scuppers. The other areas of the roof will have pitch to gutter downs spout systems.

Natural gas is provided to the building with the meter located outside adjacent to the sally port garage. Piping from the meter extends into the building and up through the roof serving two roof top units, RTU-1&2. The gas line also serves a unit heater located in the sally port garage. This gas also extends from the meter to the electrical room domestic water heater and the radiant boiler. Actual gas capacities and pressure requirements will be coordinated with local Gas Company.

(Note: Gas dryer is optional)

II. Fire Protection Systems:

The facility is not being equipped with automatic sprinkler system nor is it required to by code.

III. Mechanical Systems:

The facility will be served by two new RTU's. RTU-1 will be a 4-ton gas fired burner with DX packaged cooling. Unit will serve the offices and associated support areas. It will be a constant speed heating and cooling unit with outside air economizer. Wall mounted thermostat shall control temperature, schedule, and night set-back. Sensor shall be in office on interior wall. Minimum outdoor air is provided to the building through the RTU-1.

Toilet rooms shall have inline exhaust fans tied into wall light switch for control. Exhaust shall be ducted to the building exterior with a gravity back-draft damper. The clothes dryer exhaust air will discharge directly outside the building.

RTU-2 shall serve the animal areas and provide 100% outdoor air 24/7. Separate supply and exhaust direct drive fans shall run together while the modulating gas burner heats the air for winter operation. Packaged DX cooling and cooling coils are also fitted with refrigerant hot gas reheat coils for summer dehumidification. A wall thermostat shall control temperature, humidity, and schedule should kennel occupancy allow. The air-to-air plate heat exchanger located in RTU-2, shall be used to recapture wasted energy by pre-heating and pre-cooling the outside air prior to exhausting the contaminated air. Supply and exhaust air streams do not mix, thus, 100% of the outside air is exhausted not recirculated. RTU-2 shall be a nominal 25 Ton unit, approximately 4,550 CFM. Additional return air filters in the animal area spaces shall be provided in addition to within the air handling units. D.P. with monitoring filters in RTU-2 to provide clogged filter status.

Ductwork in the kennel areas and in places of high exposed ceilings shall have exposed oval or round distribution Primed and painted flat black.

All ductwork in non-conditions spaces shall be insulated.
Exposed ductwork in conditioned spaces do not require insulation.

In addition to the air systems, slab heating for the dog kennels is provided by running warm water under the slabs where the dogs lay. There will be a sensor and interlocking controls, so RTU-2 works with the radiant heating so minimal simultaneous heating and cooling is done. The Tek-Mar controller shall maintain a low loop temperatures and control burner fire to not overheat under slab tubing and or concrete slab.

A gas fired wall mounted condensing boiler serving the radiant floor system with associated pumps shall be in the electrical room as well. Boiler shall have sealed combustion and flues to the exterior of the building.

The new systems and components have updated electronic controls but there are no plans for BMS automation in the new Dog Pound facility.

Hydronic Fin-Tube radiation shall be provided at entry ways and below large glass walls to wash the glass within exterior spaces piped to radiant boiler.

IV. Electrical Systems:

Main Electric Service: There will be a new electrical room which shall house two new electrical panels as well as the emergency transfer switch from the new exterior gas generator. The service runs overhead from the utility pole to a meter and switch in the rear of the building. The generator is also situated behind the sally port garage on the backside of the facility. The switch is rated at 240V, 3 pole, 200 amps for a 120/208V, 3 phase service. This new service shall serve the entire building.

Normal Lighting Systems: All the lighting fixtures in the facility are 120V LED lights with several selected for wet service locations due to wash down areas. The fixtures shall be surface and or ceiling grid mounted.

Lighting controls shall be occupancy sensors in the offices and support areas while the kennels shall me manual wall switches

Emergency Lighting Systems: Several lights shall be wired onto the emergency generator circuits as well as new facility exit signs.

Power Receptacles and Telephone/Data Systems: The facility shall be provided with the code required receptacles at a minimum. All required devices shall be properly grounded and ground fault protection devices installed per the current code.

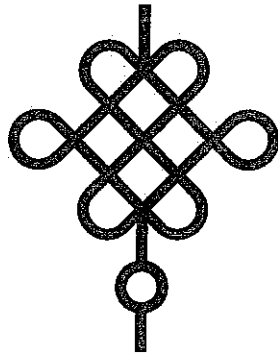
The telephone devices will be provided with Data as required.

V. Fire Alarm System:

Provide a small supervised and zone type ADA compliant fire alarm system. The system shall include manual pull stations at each exterior egress door, smoke detectors in both normally occupied and unoccupied areas, heat detectors in mechanical equipment spaces, and audio/visual annunciation devices throughout the facility and dial out modem for third party monitoring.

---End of M.E.P. Schematic Design Narrative ---

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Appendix D

Existing Building
HVAC Drawings



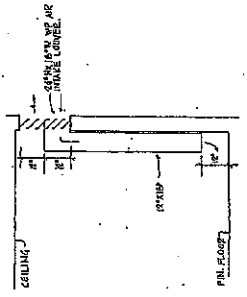
DAVID BUTTS
ARCHITECT
101 N. STATE ST.
BOSTON, MASS. 02109
DATE: 10-10-78
SCALE: AS NOTED

HEATING & VENTILATING PLAN
PROJECT: BOUNDARY TOWN, CITY OF BOSTON
DESIGNED BY: VINCENT P. KELLY, JR.
CHECKED BY: DAVID BUTTS

BOUNDARY TOWN, CITY OF BOSTON
VINCENT P. KELLY, JR.
BOSTON, MASS. 02109

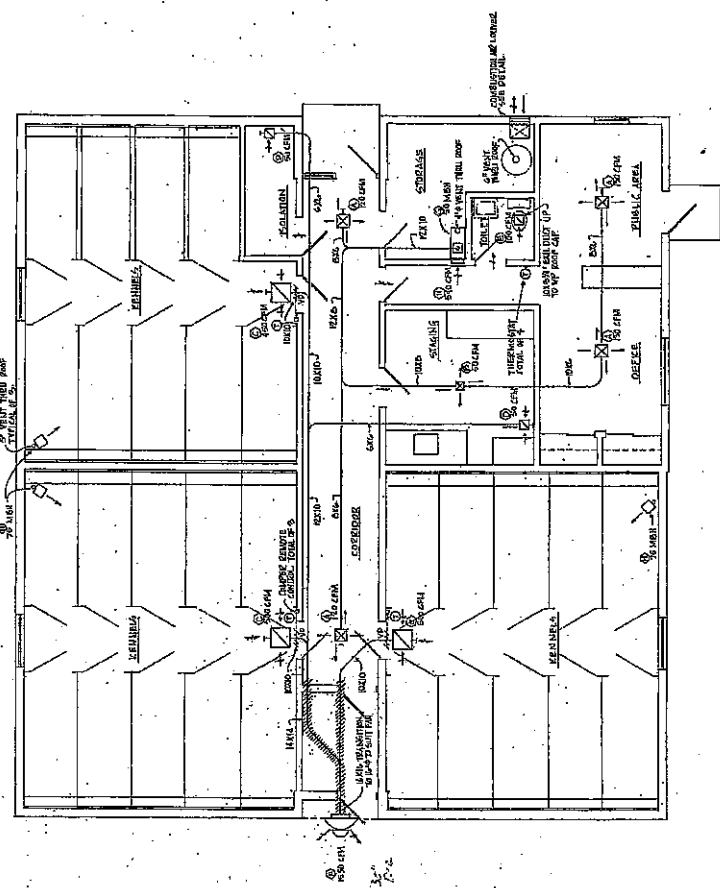
EQUIPMENT SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT	NOTES
1	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
2	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
3	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
4	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
5	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
6	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
7	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
8	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
9	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.
10	CENTRAL EXHAUST FAN	1	UNIT	TYPE 100, 10" DIA. 1/2 HP. 115V. 60 HZ.



SYMBOLS

NO.	DESCRIPTION
1	Supply or return air duct connection
2	Return or exhaust air duct connection
3	Supply or return air duct connection
4	Return or exhaust air duct connection
5	Supply or return air duct connection
6	Return or exhaust air duct connection
7	Supply or return air duct connection
8	Return or exhaust air duct connection
9	Supply or return air duct connection
10	Return or exhaust air duct connection



FLOOR PLAN
SCALE 1/4" = 1'-0"