



City of Bristol
Animal Control Building Committee
INFORMATION TO ACCESS THIS MEETING

Join Zoom Meeting

<https://bristolct-gov.zoom.us/j/84145603159?pwd=T2U9oHeAa9UAVjaKn6dt6WOzaFTzwy.1>

Meeting ID: 841 4560 3159

Passcode: 123456

The special meeting of the Animal Control Building Committee will be held on Tuesday, August 18, 2026, at 5:00 PM. in Council Chambers 111 North Main Street, Bristol , CT 06010.

AGENDA

1. Call to Order
2. Public Participation
3. Animal Control Facility – Summary & Presentation of Cost Estimate
 - a. Memo Cost Est. Presentation
 - b. Animal Control Facility Assessment
4. Cost Estimate and Recommendation to Proceed/ Prepare & Issue an RFP to Procure a Design & Build Firm
 - a. Animal Control Facility — Layout Plan
 - b. Building Assessment Animal Control Facility
 - c. Action to proceed — Memo From Raymond Rogozinski
5. Adjournment

PER ORDER OF THE CHAIRPERSON
Lindsey Rivers



Department of Public Works | 860.584.6125

MEMORANDUM

DATE: August 13, 2026

TO: Lindsey Rivers, Animal Control Building Committee Chair

FROM: Lukasz Burkacki, E.I.T., Civil Engineer

RE: ANIMAL CONTROL COMMITTEE - SUMMARY OF THE ANIMAL CONTROL FACILITY ESTIMATE

The Department of Public Works (DPW) coordinated with KEHES Group, LTD to develop a preliminary cost estimate for the proposed Animal Control Facility. As part of this effort, DPW provided KEHES Group with a facility program based on the operational requirements identified by Bristol Animal Control, along with a conceptual floor plan for the proposed facility.

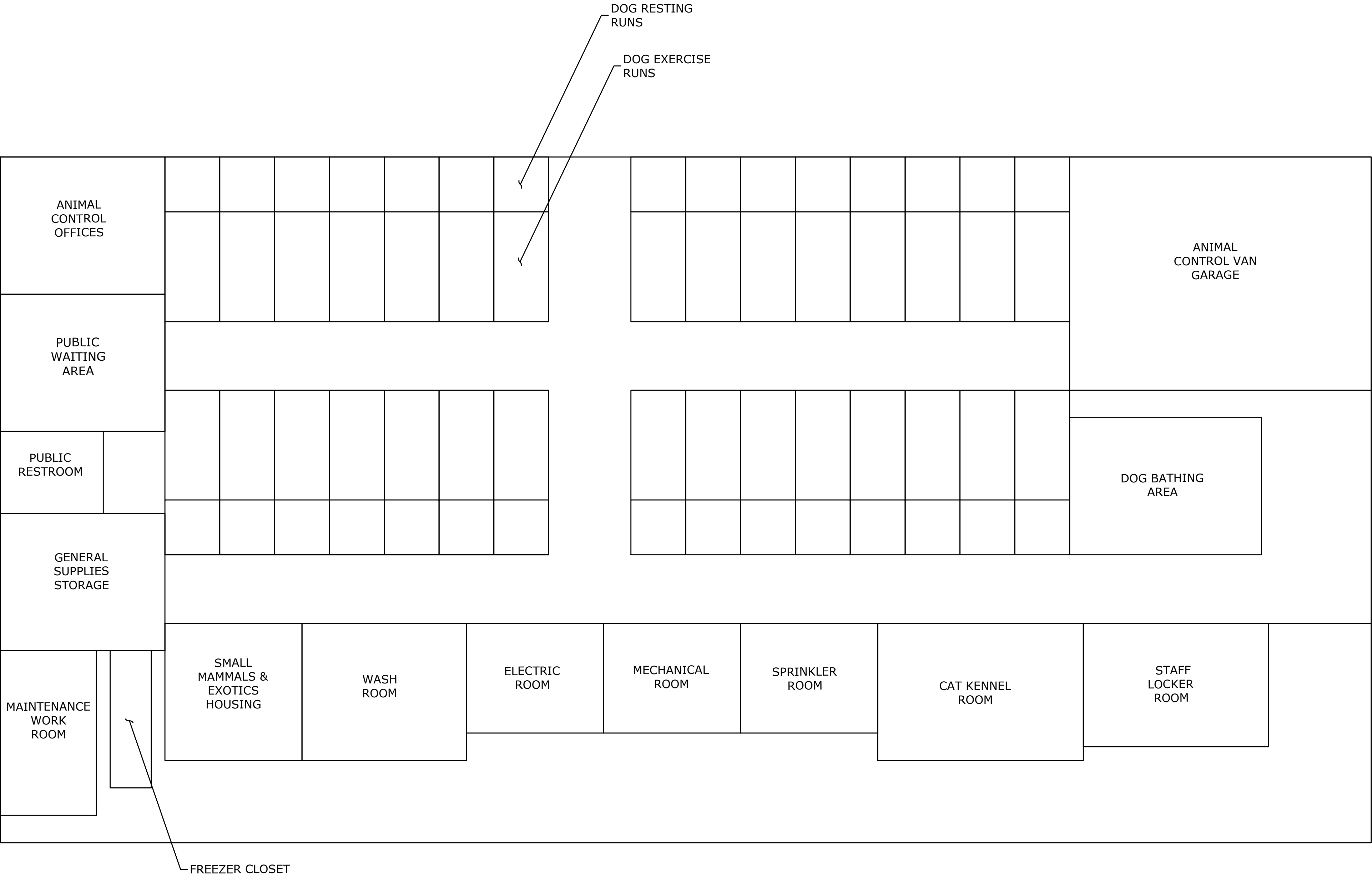
The facility program identified the required rooms and operational spaces, the function of each space, and the anticipated overall building area. The proposed facility program includes 30 primary animal enclosures with associated exercise runs, storage areas, a garage, and other support spaces necessary for Animal Control operations. A 20% allowance was incorporated into the programmed area to account for exterior walls, interior partitions, circulation, and other building components not specifically identified as individual program spaces. These program elements are intended to provide the spaces necessary to operate the facility in accordance with the updated animal control facility standards established by the Connecticut Department of Agriculture.

Based on the facility program and conceptual plan, KEHES Group estimated that construction of the proposed 5,024-square-foot facility, including associated architectural and engineering fees, would have an estimated project cost of **\$4,133,116**.

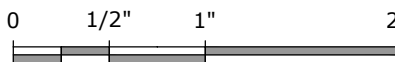
Please feel free to contact me with any questions or concerns at 860-584-6122.

Engineering Assessment	
Function	Square Footage
30 Primary Enclosures (16 sq ft)	480
30 Exercise Runs (4' x 8')	960
5 Isolation Areas	INCLUDED ABOVE
Waiting Area (10' x 12')	120
Public Restroom (6' x 7.5')	45
Animal Control Office (10' x 12')	120
Storage (10' x 12')	120
Corridors	900
Bathing Area (10' x 14')	140
Garage (15' x 24')	360
Cat Kennel Room (10' x 15')	150
Private Restroom/Locker Room (9' x 13.5')	121.5
Wash Room (10' x 12')	120
Additional Storage (8' x 12')	96
Exotic Animals Room (10' x 10')	100
Freezer Closet (3' x 10')	30
Mechanical Room (8' x 10')	80
Electrical Room (8' x 10')	80
Maintenance Workroom (7' x 12')	84
Sprinkler Room (8' x 10')	80
SUBTOTAL NET PROGRAMMED AREAS	4186.5
External Walls, Interior Partitions, & Circulation @ 20%	837.3
TOTAL	5023.8

DATE: 07-15-2026 TIME: 09:00 AM BY: LWB
PROJECT: PROPOSED ANIMAL CONTROL FACILITY
DRAWING: LAYOUT PLAN



LAYOUT PLAN
SCALE: 1" = 5'

DESCRIPTION			DATE	BY	PROPOSED ANIMAL CONTROL FACILITY	AS NOTED	 111 NORTH MAIN STREET BRISTOL, CT 06010 T: 860.584.6125 bristolct.gov	LAYOUT PLAN				01 OF 01	
REVISION BLOCK								DRAWING SCALE	PROPOSED ANIMAL CONTROL FACILITY				PAGE NO.
						BRISTOL, CONNECTICUT				C-01			
						DESIGNED: LWB DRAFTED: LWB CHKD: RAR DATE: JULY 15, 2026							

Bristol Animal Control
126 Vincent P Kelly Rd
Bristol, CT
MEP & Building Assessment



Prepared for:

Raymond Rogozinski
Director of Public Works
111 North Main Street
Bristol, CT 06010
Date: August 12, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc.
10 Talcott Notch Road
Farmington, CT 06032

Project Number 2021200.00



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Appendix B- Cost Estimates (KEHES Group LTD)

Appendix D- Schematic Design Narrative

Appendix C- Existing Building HVAC Drawings

I. EXECUTIVE SUMMARY

A. INTRODUCTION

van Zelm was hired as an independent consultant to perform an evaluation of Mechanical, Electrical, and Plumbing Systems (MEP) at the Bristol Animal Control Facility located at 126 Vincent P Kelly Rd, Bristol, CT 06010. This report details the process that was undertaken to perform this evaluation along with details related to renovating or replacing the existing building.

B. EXISTING BUILDING INFORMATION

Existing Building Details	
Date Constructed	1977
Dates of Major Renovation	N/A
Square Footage	2,355 sq. ft.
Number of Floors	One
Floors below grade	None



Figure 1-Front view of existing building

C. SCOPE OF WORK

The following items outline the general scope of work that was performed as part of the overall building evaluation:

MEP Evaluation

vanZelm performed a comprehensive evaluation of the existing MEP Systems. We began our evaluation first by reviewing the Animal Facility available design documentation (see appendix) and then compared that to our field gathered data to identify currently installed HVAC systems, operation, and overall

equipment condition. With building use and space occupancy in mind, our field work focused mostly with details on the mechanical systems that provide ventilation, temperature, and humidity control to the various spaces.

As part of the scope related to a potential renovation, we provided details to bring the building up to code in terms of ventilation and air change rates.

Load calculations were generated, and various equipment was selected to allow for accurate cost estimating.

Architectural Evaluation:

In order for the building to be properly evaluated, the services of an architectural firm were needed, particularly with respect to the building envelope. There is a big concern with moisture and condensation forming should air conditioning be installed. Studio Q was hired as a consultant to vanZelm to perform this evaluation. A complete assessment of the existing building envelope and recommendation for repairs/new moisture protection (siding and changes to existing grade conditions). Studio Q provided recommendation for thermal improvements to the existing structure to allow for compliance with the IBC and the IECC (Energy Code).

Studio Q also provided detailed schematic drawings and specs which outline the work needed in the existing building. These details were necessary in order to come up with an accurate cost estimate for the renovation work.

New Building Design:

Studio Q also provided drawings and details for the construction a new building, which would be much larger than the existing structure.

Cost Estimating:

The City of Bristol engaged KEHES Group, LTD to provide the cost estimates for the following options:

- *Option 1- Renovate Existing Building (2,355 Sq. Ft)*
- *Option 2- Construct New Building (4,015 Sq. Ft)*
- *Option 3- Replace Existing Building in Kind (2,355 Sq. Ft)*

Project Meetings & Presentations:

vanZelm and Studio Q held several meetings with the City of Bristol personnel and the stakeholders. During these meetings and presentations (see appendix), feedback was given to help vanZelm and Studio Q develop a basis of design for the new building option. The City of Bristol personnel and its stakeholders were very instrumental in the process and the feedback was very helpful to get us to a framework for this new design.

D. FINDINGS

Our evaluation has uncovered many issues and deficiencies within the existing building. A summary of the more notable items are as follows:

Interior/Envelope:

1. Ground water is seeping up from the slab and causing moisture issues.
2. Building envelope needs repairs, including siding and wood trim.
3. It would not be appropriate to add air conditioning to the building until insulation and proper vapor barriers are installed.
4. There is wood lath installed below grade, which needs to be corrected (new concrete curb and crushed stone, etc.).
5. Appears that more outdoor runs are needed. If new outdoor run kennels are installed, they must be covered based on dog pound regulations section 22-336-7 (d).

MEP Systems:

6. HVAC Systems are beyond their useful life and should be replaced (includes gas fired condensing gas furnace servicing staff areas).
7. Kennels do not have the ability to supply tempered makeup air to the space, (only have one exhaust fan that serves the 3 kennels).
8. If additional HVAC systems are to be installed, upgrades to the electrical and gas services would be required to support this additional equipment.
9. Currently there does not appear to be any alarms to notify the city if interior temps are too cold or too warm.

E. OPINION OF PROBABLE COST

van Zelm has received the construction cost estimates from Scott Kopraski (KEHES Group, LTD), and we have spoken with Ron Quicquaro from Studio Q to provide the City of Bristol a budget estimate for the A/E Fee's. Cost breakdown is as follows:

TABLE 1-PRICING BREAKDOWN				
	Option 1-Renovate Existing Building	Option 2-New Facility	Option 3-Replace Existing in Kind	Notes
Square Footage	2,355 sq. ft.	4,015 sq. ft.	2,355 sq. ft.	
Construction Costs	\$985,232	\$2,583,708	\$1,675,184	from KEHES
Contingency	114,768	216,292	124,816	
Subtotal	1,100,000	2,800,000	1,800,000	
A/E Fee's*	\$128,080	\$232,534	\$167,518	Architecture, MEP, Furniture, Civil, Structural.
Grand Total	\$1,228,080	\$3,032,534	\$1,967,518	
Cost per SF	\$521	\$755	\$835	
* After 12 months, add 1.6% to A/E Fees				

II. PHOTOS

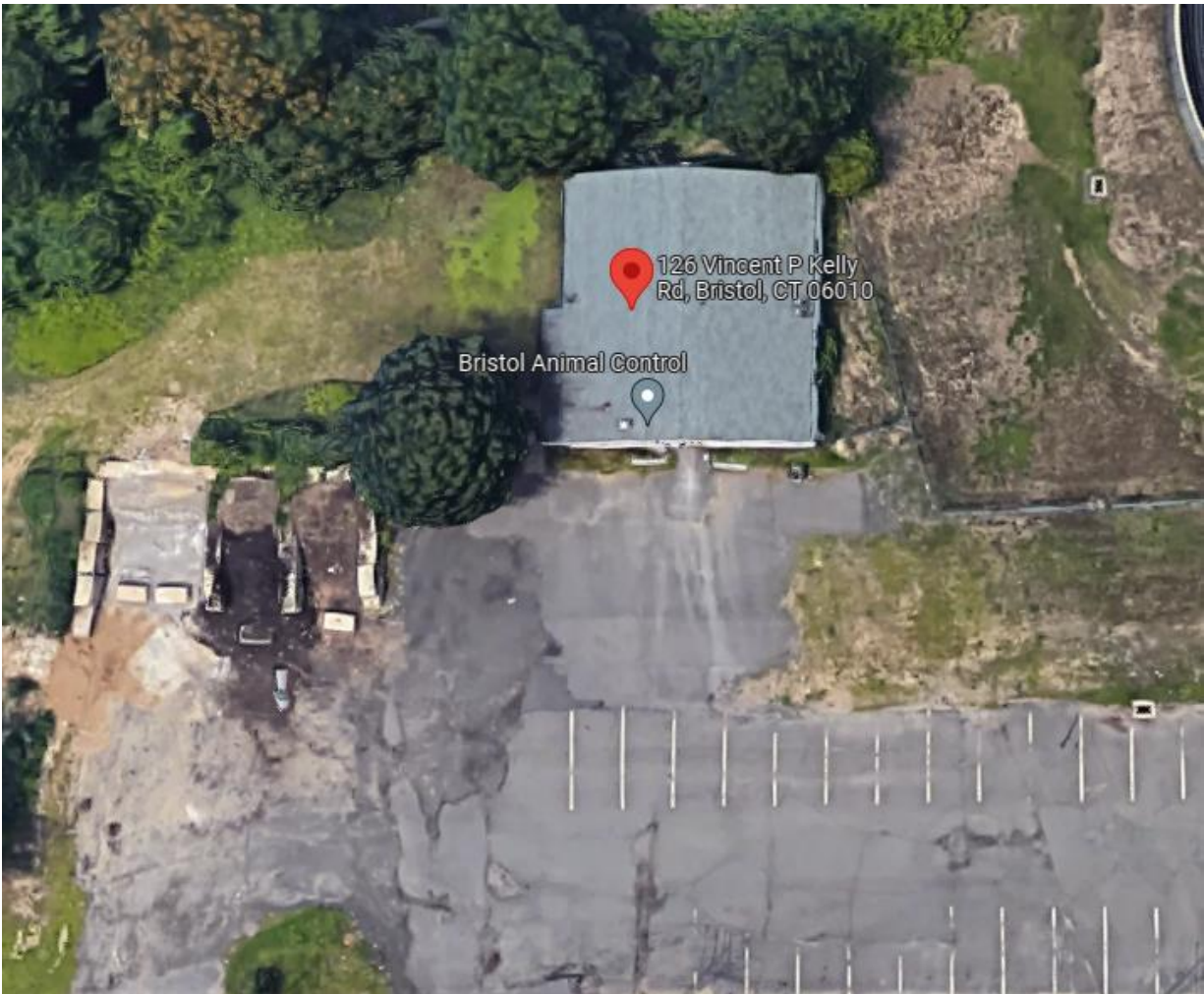


Photo1-Aerial View of existing building



Photo 2-Siding Damage



Photo 3-Wood below grade



Photo 4-Exhaust Fan#1



Photo 5- Exhaust Fan#2



Photo 6-Siding Damage



Photo 7-Interior Kennels

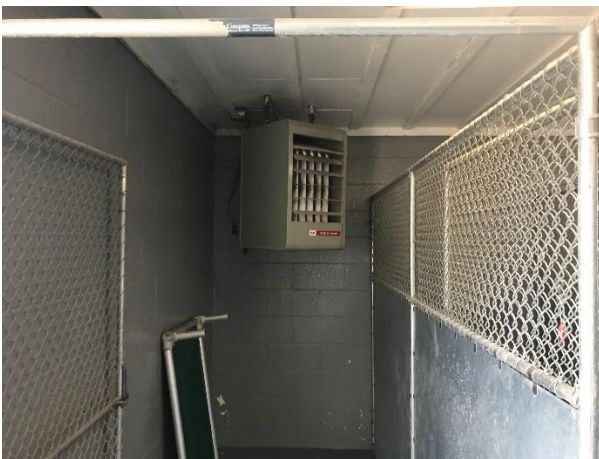


Photo 8-Gas Fire Unit Heater



Photo 9-Water Heater



Photo 10-100A Electrical Service



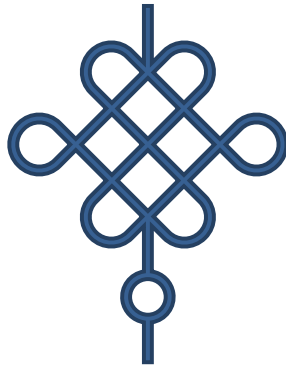
Photo 11-Gas Furnace (2005 vintage)



Photo 12-Gas Fired Generator



Photo 13-Gas & Electric Meter Location



Appendix A

Concept Drawings

The seal of the University of Bristol is a large, circular emblem in the background. It features a central shield with a ship, surrounded by the text 'UNIVERSITY OF BRISTOL' and 'FUND. 1761'.

A Presentation For:

Bristol Animal Control

Hearts United

HVAC Renovation Study
Vincent P Kelly Rd,
Bristol, CT

7-12-22

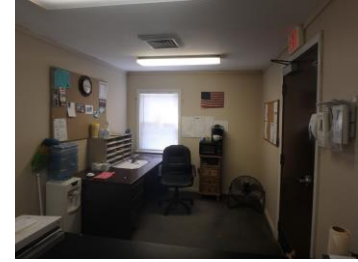
VANZELM
ENGINEERS

STUDIO Q
architecture
DESIGN | PLANNING | INTERIORS

We Develop Your **Future** Page 14



EXISTING CONDITIONS



2355 SQ FT
29 TOTAL KENNELS



EXISTING CONDITIONS

CITY OF BRISTOL
TREATMENT PLANT



VINCENT P KELLY RD

SAND
STORAGE

KEY PLAN



EXISTING CONDITIONS



NEW 4X4 GALVANIZED STEEL
TUBE
LIMIT OF NEW MECH. CATWALK
NEW DAIKIN REBEL PACKAGED
ROOFTOP SYSTEM DPS007A
NEW OUTDOOR CHAIN LINK
KENNEL RUN
NEW INSULATED DUCTWORK
NEW MECHANICAL CATWALK
ACCESS LADDER

NEW OUTDOOR
CHAIN LINK
KENNEL RUN
NEW DOG PASS DOOR

NEW 5/8" GYP CEILING ALL
AREAS
NEW PAINT, BASE &
FLOORING
NEW PRE-CAST CONCRETE
CURB @ PERIMETER OF
WOOD FRAMED
STRUCTURE
NEW 1/2" CRUSHED STONE
BED WITH 4" PERIMETER
PERFORATED DRAIN TO
STORM. LOWER GRADE 10"
BELOW CURRENT GRADE /
TOP OF FOUNDATION WALL

NEW PRE-CAST CONCRETE
CURB @ PERIMETER OF
WOOD FRAMED
STRUCTURE

NEW 1/2" CRUSHED STONE
BED WITH 4" PERIMETER
PERFORATED DRAIN TO
STORM. LOWER GRADE 10"
BELOW CURRENT GRADE /
TOP OF FOUNDATION WALL

NEW OUTDOOR CHAIN LINK
KENNEL RUN
NEW DOG PASS DOOR

NEW CHAIN LINKED FENCE TO
ACCOMMODATE NEW
OUTDOOR KENNEL RUNS

NEW FIBER GLASS WINDOW
REMOVE EXISTING CONCRETE
SLAB AND PIPING, INSTALL
NEW 10" CRUSHED STONE, 8
MIL POLY VAPOR BARRIER,
AND 5" SLOPING CONCRETE
SLAB. INSTALL NEW
PERIMETER DRAINAGE AND
PLUMBING AS REQUIRED

2355 SQ FT
29 EXISTING KENNELS
24 NEW KENNELS

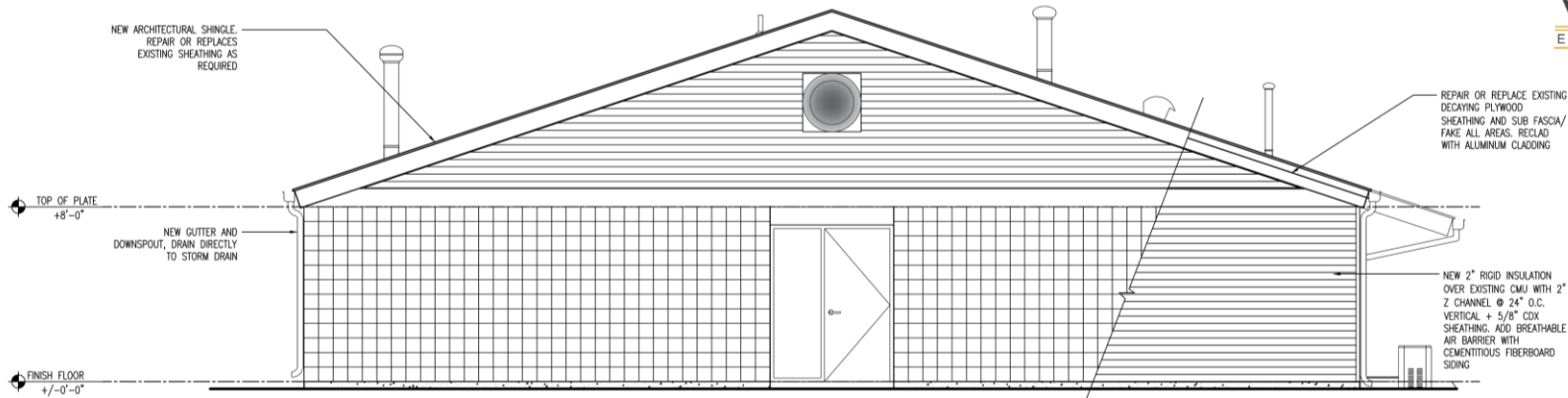
NEW OUTDOOR RUN KENNELS
MUST BE COVERED BASED ON
DOG POUND REGULATIONS
SECTION 22-336-7 (d)

NEW OUTDOOR CHAIN LINK
KENNEL RUN
NEW DOG PASS DOOR

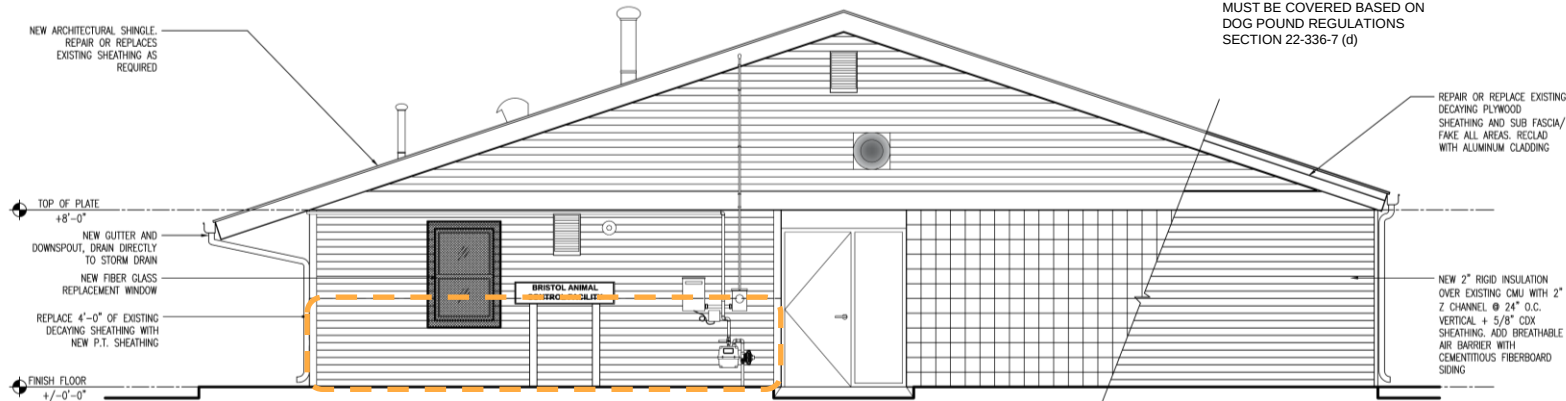


PROPOSED SCHEMATIC RENOVATIONS

CONCEPT PLANS



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

NEW ARCHITECTURAL SHINGLE.
REPAIR OR REPLACES
EXISTING SHEATHING AS
REQUIRED

TOP OF PLATE
+8'-0"

NEW GUTTER AND
DOWNSPOUT, DRAIN DIRECTLY
TO STORM DRAIN
NEW 2" RIGID INSULATION
OVER EXISTING CMU WITH 2"
Z CHANNEL @ 24" O.C.
VERTICAL + 5/8" CDX
SHEATHING. ADD BREATHABLE
AIR BARRIER WITH
CEMENTITIOUS FIBERBOARD
SIDING

FINISH FLOOR
+/-0'-0"

REPLACE 4'-0" OF EXISTING
DECAYING SHEATHING WITH
NEW P.T. SHEATHING

NEW ARCHITECTURAL SHINGLE.
REPAIR OR REPLACES
EXISTING SHEATHING AS
REQUIRED

REPLACE 4'-0" OF EXISTING
DECAYING SHEATHING WITH
NEW P.T. SHEATHING

NEW 2" RIGID INSULATION
OVER EXISTING CMU WITH 2"
Z CHANNEL @ 24" O.C.
VERTICAL + 5/8" CDX
SHEATHING. ADD BREATHABLE
AIR BARRIER WITH
CEMENTITIOUS FIBERBOARD
SIDING

4 WEST ELEVATION

SCALE: 1/4"=1'-0"

NEW OUTDOOR RUN KENNELS
MUST BE COVERED BASED ON
DOG POUND REGULATIONS
SECTION 22-336-7 (d)

NEW GUTTER AND
DOWNSPOUT, DRAIN DIRECTLY
TO STORM DRAIN

TOP OF PLATE
+8'-0"

NEW FIBER GLASS
REPLACEMENT WINDOW

FINISH FLOOR
+/-0'-0"

NEW ARCHITECTURAL SHINGLE.
REPAIR OR REPLACES
EXISTING SHEATHING AS
REQUIRED

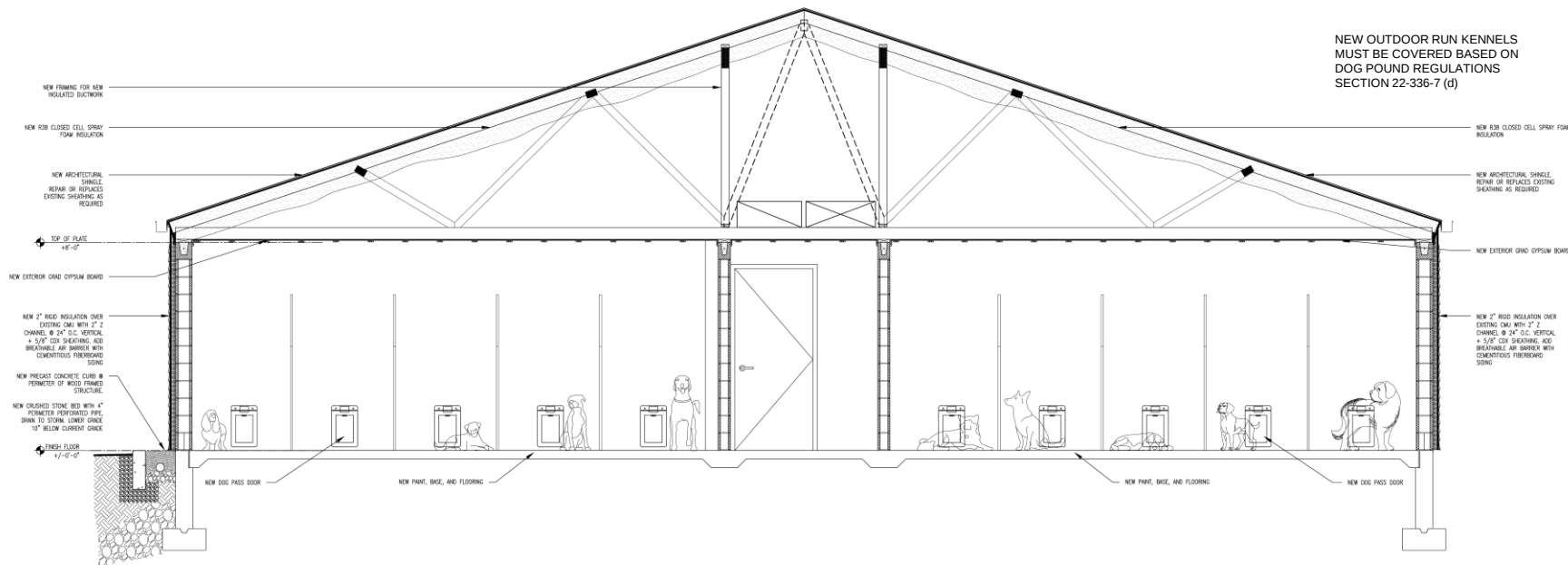
REPAIR OR REPLACE EXISTING
DECAYING PLYWOOD
SHEATHING AND SUB FASCIA/
FAKE ALL AREAS. RECLAD
WITH ALUMINUM CLADDING

NEW 2" RIGID INSULATION
OVER EXISTING CMU WITH 2"
Z CHANNEL @ 24" O.C.
VERTICAL + 5/8" CDX
SHEATHING. ADD BREATHABLE
AIR BARRIER WITH
CEMENTITIOUS FIBERBOARD
SIDING

3 EAST ELEVATION

SCALE: 1/4"=1'-0"

NEW OUTDOOR RUN KENNELS
MUST BE COVERED BASED ON
DOG POUND REGULATIONS
SECTION 22-336-7 (d)

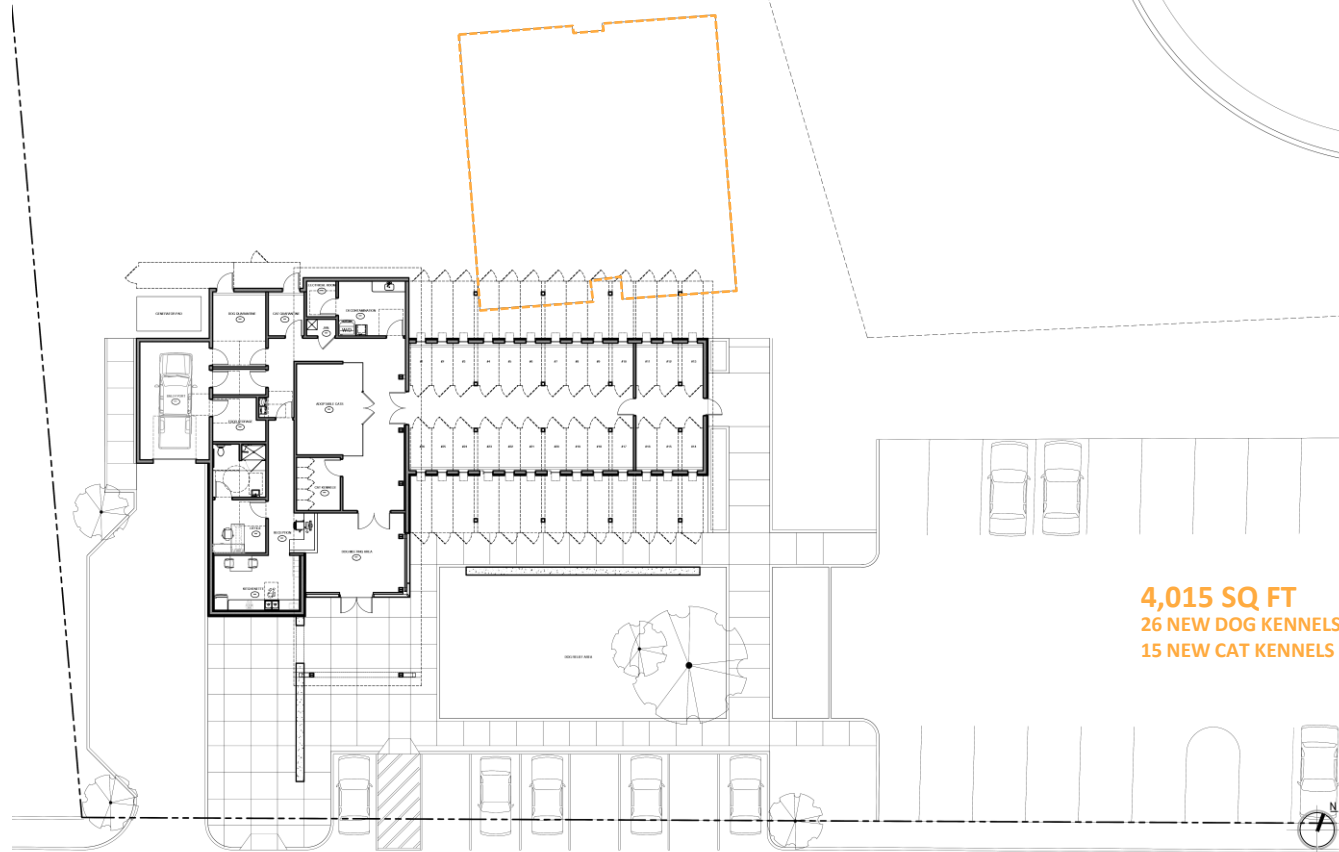


PROPOSED SCHEMATIC SECTION

NEW BUILDING DISCUSSION

- ## NEW BUILDING DISCUSSION





Proposed New Building Location

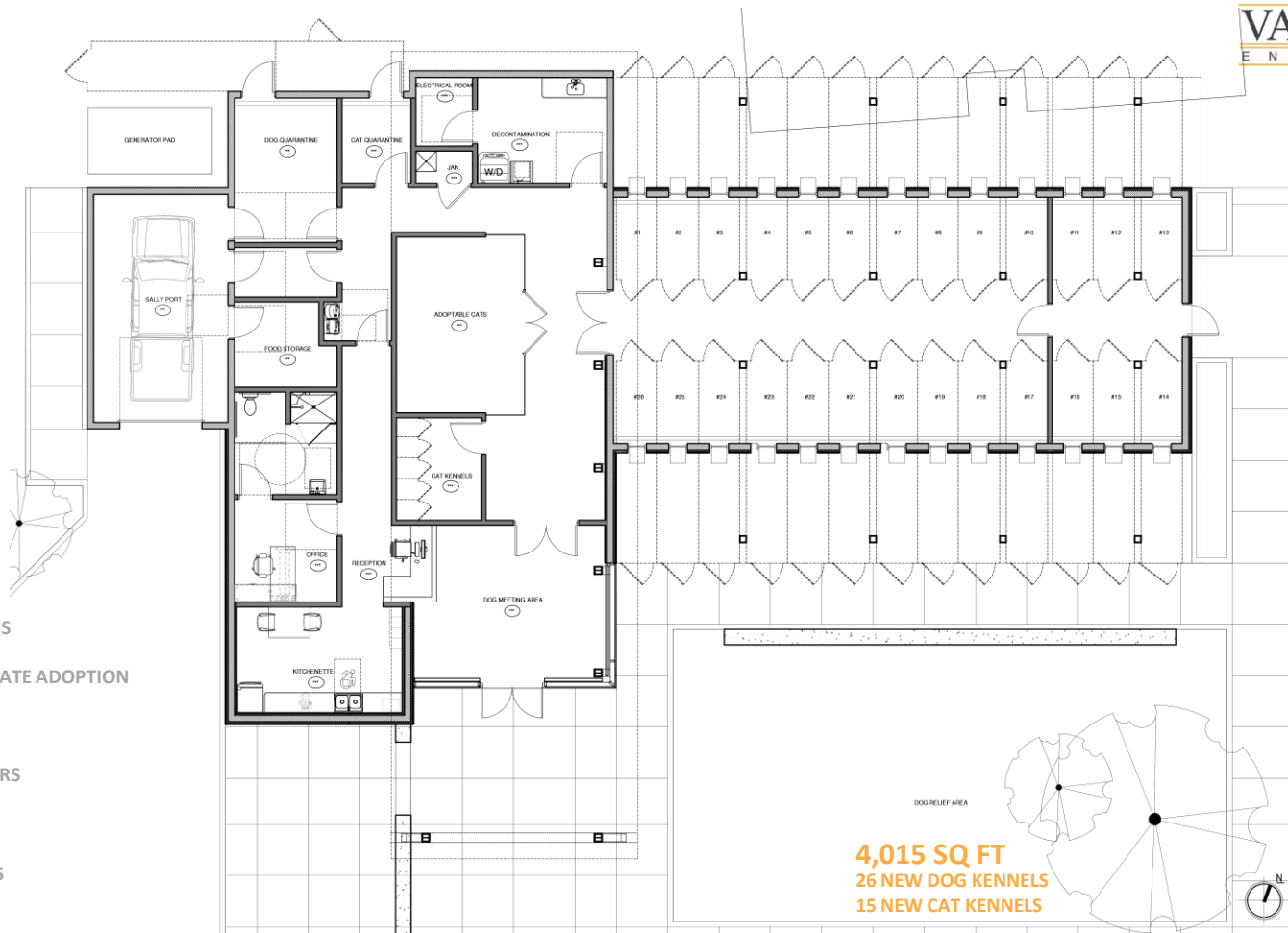
PROGRAM :

1. QUARANTINE AREAS
2. FOOD STORAGE
3. ADOPTABLE CAT ROOM
4. DOG QUARANTINE
5. CAT QUARANTINE
6. SALLY PORT
7. DECON ROOM
8. BATH/ SHOWER ROOMS
9. KITCHEN / KITCHENETTE
10. OFFICE
11. STORAGE FOR RECORDS
12. MEETING ROOM FOR DOGS
13. WAITING TO ACCOMMODATE ADOPTION

VS ALL OTHER VISITERS

1. SINKS @ ALL KENNEL DOORS
2. DOG RELIEF AREA
3. COVERED OUTDOOR RUNS

Proposed New Building



PROPOSED NEW BUILDING



HARRIS COUNTY, GEORGIA



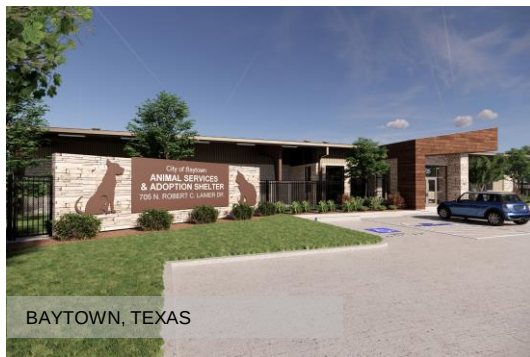
LODI COUNTY, CALIFORNIA



QUINCY, MASSACHUSETTS



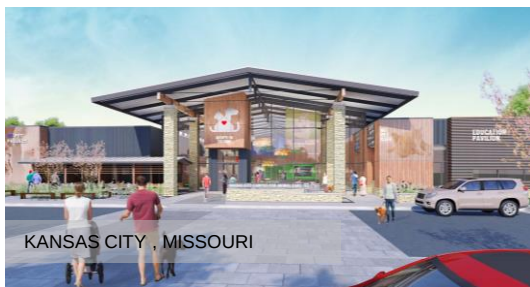
GLENDALE, COLORADO



BAYTOWN, TEXAS



EL CAJON, NEW MEXICO



KANSAS CITY, MISSOURI



FARMINGTON, ARIZONA



BRANFORD, CONNECTICUT

PROPOSED NEW BUILDING



Proposed New Building



Proposed New Building

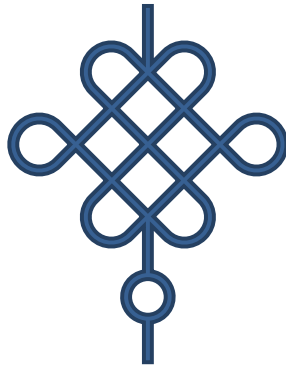


Proposed New Building



Proposed New Building

THANK YOU



Appendix B

Cost Estimates

(KEHES Group LTD)

Bristol Animal Control
Bristol, CT

Conceptual Estimate

BUILDING AREA		Renovation of Existing Facility				New Facility / New Location				Replace Existing In Kind			
		2,355	GSF			4,015	GSF			2,355	GSF		
Description	Sub-Total	Total	\$/SF	% of Total	Sub-Total	Total	\$/SF	% of Total	Sub-Total	Total	\$/SF	% of Total	
31 0000 SITE WORK		87,209	37.03	8.85%		392,584	97.78	15.19%		273,895	116.30	16.35%	
310500 Demolition	34,708				28,550				-				
312000 Site preparation	8,700				27,525				27,325				
313000 Earthwork	2,994				154,428				128,553				
315000 Utility Services	4,000				75,000				75,000				
318000 Site Improvements and Amenities	34,307				105,081				41,017				
319500 Site Restoration and Rehabilitation	2,500				2,000				2,000				
03 3000 CONCRETE		34,246	14.54	3.48%		252,243	62.83	9.76%		150,361	63.85	8.98%	
031000 Concrete Forms and Accessories	1,200				2,000				2,000				
033000 Cast - In - Place Concrete (Foundation)	33,046				250,243				148,361				
033000 Cast - In - Place Concrete (Super Structure)	-				-				-				
04 0000 MASONRY		1,971	0.84	0.20%		372,390	92.75	14.41%		108,971	46.27	6.51%	
042000 Masonry Units	1,971				372,390				108,971				
049000 Masonry Restoration and Cleaning	-				-				-				
05 0000 METAL		29,520	12.54	3.00%		31,500	7.85	1.22%		16,500	7.01	0.98%	
051000 Structural Steel	-				-				-				
052000 Metal Joists	-				-				-				
053000 Metal Deck	-				-				-				
055000 Metal Fabrications	29,520				31,500				16,500				
058000 Expansion Control	-				-				-				
06 0000 WOOD & PLASTICS		24,312	10.32	2.47%		210,480	52.42	8.15%		73,643	31.27	4.40%	
061000 Rough Carpentry	7,295				191,668				55,906				
062000 Finish Carpentry	2,591				5,137				3,311				
064000 Architectural Woodwork	14,427				13,676				14,427				
07 0000 THERMAL & MOISTURE PROTECTION		110,102	46.75	11.18%		159,602	39.75	6.18%		94,193	40.00	5.62%	
071000 Damproofing and Waterproofing	-				-				-				
072000 Thermal Protection	-				6,884				3,850				
073000 Siding Systems	56,558				-				62,942				
075000 Roofing	50,341				147,258				24,198				
076000 Flashing and Sheet Metal	-				-				-				
077000 Roof specialties and accessories	-				-				-				
078000 Fire and Smoke Protection	1,601				2,730				1,601				
079000 Joint sealers	1,601				2,730				1,601				
08 0000 DOORS & WINDOWS		12,700	5.39	1.29%		90,008	22.42	3.48%		42,830	18.19	2.56%	
081000 Metal Doors and Frames	-				41,400				31,800				
082000 Wood and Plastic Doors	-				-				-				
083000 Specialty Doors	6,700				17,700				6,700				
084000 Entrances and Storefronts	-				24,578				-				
008500 Windows	6,000				6,000				4,000				
088000 Glazing	-				330				330				
09 0000 FINISHES		39,679	16.85	4.03%		99,819	24.86	3.86%		74,882	31.80	4.47%	
092000 Plaster and Gypsum Board	12,283				63,814				47,486				
093000 Tile	789				2,522				789				
095000 Ceilings	-				-				-				
096000 Flooring	5,671				11,733				5,671				
097000 Wall Finishes	-				-				-				
098000 Acoustical Treatment	-				-				-				
099000 Paints and Coatings	20,936				21,750				20,936				
10 0000 SPECIALTIES		8,934	3.79	0.91%		14,642	3.65	0.57%		12,864	5.46	0.77%	
101000 Compartments and Cubicles	-				-				-				
102600 Identifying devices	1,884				3,212				1,884				
102700 Lockers	-				3,000				3,000				
105220 Postal equipment	-				-				-				
108000 Bathroom & toilet accessories	-				930				930				
108800 Fire Protection Specialties	2,250				2,700				2,250				
109900 Miscellaneous Specialties	4,800				4,800				4,800				
11 0000 EQUIPMENT		-	-	0.00%		7,500	1.87	0.29%		5,000	2.12	0.30%	
113100 Kitchen Equipment	-				7,500				5,000				
12 0000 FURNISHING		-	-	0.00%		-	-	0.00%		-	-	0.00%	
124000 Furnishings and Accessories	-				-				-				
13 0000 SPECIAL CONSTRUCTION		-	-	0.00%		-	-	0.00%		-	-	0.00%	
13120 Special Construction	-				-				-				
14 0000 CONVEYING SYSTEM		-	-	0.00%		-	-	0.00%		-	-	0.00%	
142000 Elevators	-				-				-				
21 0000 MECHANICAL - FIRE PROTECTION		-	-	0.00%		-	-	0.00%		-	-	0.00%	
213100 Fire protection piping	-				-				-				
213200 Fire pumps	-				-				-				
213300 Wet pipe sprinkler system	-				-				-				
213350 Dry pipe sprinkler system	-				-				-				
22 0000 MECHANICAL - PLUMBING		39,731	16.87	4.03%		120,400	29.99	4.66%		99,596	42.29	5.95%	
224100 Plumbing piping	19,750				75,769				61,315				
224300 Plumbing specialties	12,981				18,631				20,981				
224400 Plumbing fixtures	-				18,000				9,300				
224500 Plumbing equipment	3,000				3,000				3,000				
224750 Pool & fountain equipment	-				-				-				
224800 Special systems	4,000				5,000				5,000				
23 0000 MECHANICAL - HVAC		147,354	62.57	14.96%		144,489	35.99	5.59%		142,644	60.57	8.52%	
235100 Hydronic & refrigerant piping	-				-				-				
235500 Heat generation	-				-				-				
236500 Refrigeration	12,880				14,725				12,880				
237500 Heat transfer	-				-				-				
238500 Air handling	52,950				52,950				52,950				
238800 Air distribution	72,324				67,614				67,614				
239500 Controls	5,700				5,700				5,700				
239900 Testing & balancing	3,500				3,500				3,500				
26 0000 ELECTRICAL		66,748	28.34	6.77%		132,395	32.98	5.12%		105,040	44.60	6.27%	
262000 Power generation	32,125				36,500				36,500				
263000 Medium voltage distribution	-				10,038				4,710				
264000 Service & distribution	13,845				22,245				13,845				
265000 Lighting	2,778				25,690				15,730				
266000 Special systems	11,500				29,423				25,755				
267000 Communication	-				2,000				2,000				

Bristol Animal Control
Bristol, CT

Conceptual Estimate

BUILDING AREA	Renovation of Existing Facility				New Facility / New Location				Replace Existing In Kind			
	2,355	GSF			4,015	GSF			2,355	GSF		
Description	Sub-Total	Total	\$/SF	% of Total	Sub-Total	Total	\$/SF	% of Total	Sub-Total	Total	\$/SF	% of Total
268500 Electric resistance heating	-				-				-			
269000 Controls	-				-				-			
269500 Testing	6,500				6,500				6,500			
SUBTOTAL DIRECT COST	\$ 602,506	\$ 602,506	\$ 256	61.15%	\$ 2,028,052	\$ 2,028,052	\$ 505	78.49%	\$ 1,200,419	\$ 1,200,419	\$ 510	71.66%
Design Contingency	10.0%	60,251	25.58	6.12%	10.0%	60,251	15.01	2.33%	10.0%	60,251	25.58	3.60%
Escalation - 6 months	8.0%	53,021	22.51	5.38%	8.0%	53,021	13.21	2.05%	8.0%	53,021	22.51	3.17%
General Conditions		150,000	63.69	15.22%		195,000	48.57	7.55%		180,000	76.43	10.75%
General Requirements		48,000	20.38	4.87%		60,000	14.94	2.32%		60,000	25.48	3.58%
General Liability Insurance	0.8%	\$ 7,310.21	3.10	0.74%	0.8%	\$ 19,170.58	4.77	0.74%	0.8%	\$ 12,429.52	5.28	0.74%
Building Permit - By Owner	0.0%	-	-	0.00%	0.0%	-	-	0.00%	0.0%	-	-	0.00%
State Education Fund	0.026%	239	0.10	0.02%	0.026%	628	0.16	0.02%	0.026%	407	0.17	0.02%
CM Payment & Performance Bond (Subguard)	0.8%	7,371	3.13	0.75%	0.8%	19,329	4.81	0.75%	0.8%	12,532	5.32	0.75%
CM Fee	2.50%	23,217	9.86	2.36%	2.50%	60,886	15.16	2.36%	2.50%	39,476	16.76	2.36%
TOTAL DIRECT COST	\$ 951,915	\$ 404	96.62%		\$ 2,496,337	\$ 622	96.62%		\$ 1,618,536	\$ 687	96.62%	
Construction Contingency (by Owner)	3.5%	33,317	14.15	3.38%	3.5%	87,372	21.76	3.38%	3.5%	56,649	24.05	3.38%
TOTAL CONSTRUCTION COST	\$ 985,232	\$ 418	100.00%		\$ 2,583,708	\$ 644	100.00%		\$ 1,675,184	\$ 711	100.00%	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
31 0000 SITE WORK					
310500 Demolition					
Sawcut & Remove Existing Slab on Grade (Kennel #1)	514	SF	22.00	11,303	
Sawcut & Remove Existing Slab on Grade (Kennel #2)	514	SF	22.00	11,301	
Sawcut & Remove Existing Slab on Grade (Kennel #3)	470	SF	22.00	10,331	
Demo Existing Ceilings	788	SF	2.25	1,774	
Demolition					34,708
312000 Site preparation					
Traffic Control/signage	1	LS	2,000.00	2,000	
Site Cleanup	1	LS	2,500.00	2,500	
Temporary construction barrier	300	LF	14.00	4,200	
Site preparation				-	8,700
313000 Earthwork					
Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #1)	514	SF	2.00	1,028	
Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #2)	514	SF	2.00	1,027	
Replace subgrade materials/fine grade @ New Slab on Grade (Kennel #3)	470	SF	2.00	939	
Earthwork					2,994
315000 Utility Services					
Misc Utility Tie-in's	1	LS	4,000.00	4,000	
Utility Services					4,000
318000 Site Improvements and Amenities					
New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	41.71	SF	35.00	1,460	
New Exterior Chain Link	183.62	LF	16.50	3,030	
New Exterior Chain Link @ Kennels	385.68	LF	16.50	6,364	
New Exterior Chain Link Gate (3'-2") @ Kennels	22	EA	350.00	7,700	
New Interior Chain Link @ Kennels	424.47	LF	16.50	7,004	
New Interior Chain Link Gate (3'-2") @ Kennels	25	EA	350.00	8,750	
Site Improvements and Amenities					34,307
319500 Site Restoration and Rehabilitation					
Misc Site Restoration Allowance	1	LS	2,500.00	2,500	
Site Restoration and Rehabilitation					2,500
SUBTOTAL SITE WORK					87,209

03 3000 CONCRETE**031000 Concrete Forms and Accessories**

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Misc. MEP housekeeping pads	1	LS	1,200.00	1,200	
Concrete Forms and Accessories					1,200
<u>033000</u> <u>Cast - In - Place Concrete (Foundation)</u>					
New Slab on Grade (Kennel #1)	514	SF			
Concrete materials (5" thickness)	8.72	CY	110.00	959	
Edge form	-	LF	6.00	-	
Place Concrete	513.75	SF	6.00	3,083	
Trowel Finish Concrete	513.75	SF	1.00	514	
#4 bar reinforcing at 12" OC each way	513.75	SF	6.00	3,083	
Cure and Seal	513.75	SF	0.50	257	
15 mil vapor barrier under slabs	513.75	SF	1.00	514	
Pump	-	DAYS	1,100.00	-	
New Slab on Grade (Kennel #2)	514	SF			
Concrete materials (5" thickness)	8.72	CY	110.00	959	
Edge form	-	LF	6.00	-	
Place Concrete	513.68	SF	6.00	3,082	
Trowel Finish Concrete	513.68	SF	1.00	514	
#4 bar reinforcing at 12" OC each way	513.68	SF	6.00	3,082	
Cure and Seal	513.68	SF	0.50	257	
15 mil vapor barrier under slabs	513.68	SF	1.00	514	
Pump	-	DAYS	1,100.00	-	
New Slab on Grade (Kennel #3)	470	SF			
Concrete materials (5" thickness)	7.97	CY	110.00	877	
Edge form	-	LF	6.00	-	
Place Concrete	469.59	SF	6.00	2,818	
Trowel Finish Concrete	469.59	SF	1.00	470	
#4 bar reinforcing at 12" OC each way	469.59	SF	6.00	2,818	
Cure and Seal	469.59	SF	0.50	235	
15 mil vapor barrier under slabs	469.59	SF	1.00	470	
Pump	-	DAYS	1,100.00	-	
Slab Trough @ Kennel Areas	169.61	LF	15.00	2,544	
Exterior Concrete Pad for new DOAS Unit	240.00	SF	25.00	6,000	
Cast - In - Place Concrete (Foundation)					33,046
<u>033000</u> <u>Cast - In - Place Concrete (Super Structure)</u>					
NONE					
Cast - In - Place Concrete (Super Structure)					-
SUBTOTAL CONCRETE					34,246
<u>04 0000</u> <u>MASONRY</u>					
<u>042000</u> <u>Masonry Units</u>					
New Precast Curb @ Perimeter of Wood Framed Office	49.28	LF	40.00	1,971	
Masonry Units					1,971
<u>049000</u> <u>Masonry Restoration and Cleaning</u>					
NONE					
Masonry Restoration and Cleaning				-	-
SUBTOTAL MASONRY					1,971

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

05 0000 METAL**051000 Structural Steel**
NONE

Structural Steel

-

052000 Metal Joists
NONE

Metal Joists

-

053000 Metal Deck
NONE

Metal Deck

-

055000 Metal Fabrications

New 4x4 Galvanized Steel Tube
Support Framing for Roof Deck Assembly
Metal Roof Deck to support DOAS
New Mechanical Catwalk Access Ladder

9.00	EA	1,500.00	13,500
520.00	SF	20.00	10,400
520.00	SF	6.00	3,120
1.00	EA	2,500.00	2,500

Metal Fabrications

29,520

058000 Expansion Control
NONE

Expansion Control

-

-

SUBTOTAL METAL

29,520

06 0000 WOOD & PLASTICS**061000 Rough Carpentry**

Rough Carpentry - misc. blocking, etc.
Temp Protection Allowance
Safety & Maintenance

2,355	SF	0.55	1,295
1	LS	3,000.00	3,000
1	LS	3,000.00	3,000

Rough Carpentry

7,295

062000 Finish Carpentry

Running Trim/mouldings

2,355	SF	1.10	2,591
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Finish Carpentry

2,591

064000 Architectural Woodwork

Base & Upper Cab's at Staging
Countertop at Staging
New Desk/Work Surface at Office/Waiting

6.02	LF	700.00	4,214
12.09	SF	50.00	605
12.01	SF	800.00	9,608

Architectural Woodwork

14,427

SUBTOTAL WOOD & PLASTICS

24,312

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>07 0000 THERMAL & MOISTURE PROTECTION</u>					
<u>071000 Damproofing and Waterproofing</u>					
NONE					
Damproofing and Waterproofing					-
<u>072000 Thermal Protection</u>					
NONE					
Thermal Protection					-
<u>073000 Siding Systems</u>					
Replace Existing Fascia and replace w/New Fascia Trim					
w/Aluminum Wrap	198.67	LF	30.00	5,960	
New Exterior Wall Louver	2.00	EA	500.00	1,000	
New 2" Rigid insulation over CMU	1,964.28	SF	4.00	7,857	
New 2" Z-Channel @ 24" OC	1,964.28	SF	4.00	7,857	
New 5/8" Sheathing over CMU (assume 50% of face area)	982.14	SF	6.50	6,384	
New AVB over CMU	1,964.28	SF	4.00	7,857	
New Cementitious Fiberboard Siding over CMU	1,964.28	SF	10.00	19,643	
Siding Systems					56,558
<u>075000 Roofing</u>					
Roof Insulation - Spray Poly	1,262.07	SF	5.00	6,310	
Remove existing Shingle Roof	1,262.07	SF	10.00	12,621	
Replace Existing Roof Sheathing	1,262.07	SF	10.00	12,621	
New Architectural Shingle Roof throughout	1,262.07	SF	10.00	12,621	
New Downspout	5.00	EA	900.00	4,500	
New Gutters	104.26	LF	16.00	1,668	
Roofing					50,341
<u>076000 Flashing and Sheet Metal</u>					
NONE					
Flashing and Sheet Metal					-
<u>077000 Roof specialties and accessories</u>					
NONE					
Roof specialties and accessories					-
<u>078000 Fire and Smoke Protection</u>					
Firestopping	2,355	SF	0.68	1,601	
Fire and Smoke Protection				-	1,601
<u>079000 Joint sealers</u>					
Misc. caulking, sealant and fire safing	2,355	SF	0.68	1,601	
Joint sealers					1,601
SUBTOTAL THERMAL & MOISTURE PROTECTION					110,102

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KEHES GROUP, LTDBristol Animal ControlBristol, CT**Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

08 0000 DOORS & WINDOWS**081000 Metal Doors and Frames**

Exterior Door, Frame & HW - Single	1	EA	2,400.00		
Exterior Door, Frame & HW - Single w/Sidelite	2	EA	2,800.00		
Interior Door, Frame & HW - Single	9	EA	2,200.00		
Interior Pair of Slider Closet Doors	2	EA	2,000.00		

Metal Doors and Frames

-

082000 Wood and Plastic Doors

NONE

Wood and Plastic Doors

-

083000 Specialty Doors

Allowance for access doors	1	LS	1,200.00	1,200	
New Dog Pass Door	22	EA	250.00	5,500	

Specialty Doors

6,700

084000 Entrances and Storefronts

NONE

Entrances and Storefronts

-

008500 Windows

New Fiberglass Replacement Window - Single	4	EA	1,000.00	4,000	
New Fiberglass Replacement Window - Double	1	EA	2,000.00	2,000	

Windows

6,000

088000 Glazing

NONE

Glazing

-

SUBTOTAL DOORS & WINDOWS

12,700

09 0000 FINISHES**092000 Plaster and Gypsum Board**

New 5/8" Gypsum Board Ceiling All Areas	788	SF	10.00	7,883	
Interior Walls - Patch Existing	2,200	SF	2.00	4,400	

Plaster and Gypsum Board

12,283

093000 Tile

New Tile Flooring at Restroom	21	SF	22.00	472	
New Tile Base at Restroom	16	LF	20.00	317	

Tile

789

095000 Ceilings

NONE

Ceilings

-

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>096000</u> <u>Flooring</u>					
New Concrete Sealer at Isolation	38	SF	3.00	115	
New Base at Isolation	25	LF	5.00	124	
New Resilient Flooring at Main Corridors at Center of Building	255	SF	7.00	1,787	
New Base at Main Corridors at Center of Building	83	LF	5.00	414	
New Resilient Flooring at Office/Waiting	244	SF	7.00	1,705	
New Base at Office/Waiting	88	LF	5.00	439	
New Resilient Flooring at Staging	127	SF	7.00	888	
New Base at Storage	40	LF	5.00	201	
Flooring					5,671
<u>097000</u> <u>Wall Finishes</u>					
NONE					
Wall Finishes					-
<u>098000</u> <u>Acoustical Treatment</u>					
NONE					
Acoustical Treatment					-
<u>099000</u> <u>Paints and Coatings</u>					
New Base & Painting at Isolation	247	SF	2.00	494	
Wall Painting at Main Corridors at Center of Building	829	SF	2.00	1,657	
Wall Painting at Office/Waiting Walls	877	SF	2.00	1,755	
Wall Painting at Restroom	159	SF	2.00	317	
Wall Painting at Staging	424	SF	2.00	848	
Wall Painting at Storage	401	SF	2.00	803	
GWB Ceilings	788	SF	2.00	1,576	
Paint Exposed Structure above	1,497	SF	2.50	3,743	
Paint Exterior Cementitious Fiberboard Siding	1,964	SF	3.00	5,893	
Paint Door Leafs & Frames	14	EA	275.00	3,850	
Paints and Coatings					20,936
SUBTOTAL FINISHES					39,679
<u>10 0000</u> <u>SPECIALTIES</u>					
<u>101000</u> <u>Compartments and Cubicles</u>					
NONE					
Compartments and Cubicles					-
<u>102600</u> <u>Identifying devices</u>					
Interior Wayfinding & Room Signage	2,355.00	GSF	0.80	1,884	
Identifying devices					1,884
<u>102700</u> <u>Lockers</u>					
Locker / Storage Cabinet Allowance	1	AL	3,000.00	Existing to Remain	
Lockers					-

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>105220</u>	<u>Postal equipment</u> NONE Postal equipment					-
<u>108000</u>	<u>Bathroom & toilet accessories</u> H/C Grab Bars	2	EA	165.00	Existing to Remain	
	Soap dispensers, installed	1	EA	55.00	Existing to Remain	
	Paper Towel Dispensers	1	EA	300.00	Existing to Remain	
	Toilet paper Dispenser, installed	1	EA	85.00	Existing to Remain	
	Waste receptacles, installed	1	EA	160.00	Existing to Remain	
	Bathroom & toilet accessories					-
<u>108800</u>	<u>Fire Protection Specialties</u> FEC's - surface mounted	5	EA	450.00	2,250	
	Fire Protection Specialties					2,250
<u>109900</u>	<u>Miscellaneous Specialties</u> Marker Boards/White Boards	4	EA	1,200.00	4,800	
	Miscellaneous Specialties					4,800
	SUBTOTAL SPECIALTIES					8,934
<u>11 0000</u>	<u>EQUIPMENT</u>					
<u>113100</u>	<u>Kitchen Equipment</u> Reach-In Refrigerator - Medicines, etc.	1	EA	2,500.00	Existing to Remain	
	Reach-In Refrigerator for Staff	1	EA	2,500.00	Existing to Remain	
	Kitchen Equipment					-
	SUBTOTAL EQUIPMENT					-
<u>12 0000</u>	<u>FURNISHING</u>					
<u>124000</u>	<u>Furnishings and Accessories</u> NONE Furnishings and Accessories					-
	SUBTOTAL FURNISHING					-
<u>13 0000</u>	<u>SPECIAL CONSTRUCTION</u>					

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

13120 Special Construction
NONE

Special Construction

-

SUBTOTAL SPECIAL CONSTRUCTION

-

14 0000 CONVEYING SYSTEM

142000 Elevators
NONE

Elevators

-

SUBTOTAL CONVEYING SYSTEM

-

21 0000 MECHANICAL - FIRE PROTECTION

213100 Fire protection piping
NONE

Fire protection piping

-

213200 Fire pumps
NONE

Fire pumps

-

213300 Wet pipe sprinkler system
NONE

Wet pipe sprinkler system

-

213350 Dry pipe sprinkler system
NONE

Dry pipe sprinkler system

-

SUBTOTAL FIRE PROTECTION

-

22 0000 MECHANICAL - PLUMBING**224100 Plumbing piping**

Remove Existing Piping

2,355.00 GSF

1.25

Existing to

Remain

Existing to

New piping

325.00 LF

65.00

Remain

New piping Insulation

325.00 LF

22.00

Remain

2" Gas Piping

250.00 LF

65.00

16,250

Gas Valves & Accessories

1.00 LS

3,500.00

3,500

Existing to

New Sanitary Piping

120.00 LF

75.00

Remain

New Sanitary Vent Piping

66.00 LF

65.00

Existing to
Remain

Plumbing piping

19,750

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	

224300 Plumbing specialties

Backflow Preventer	1.00	EA	3,500.00	Existing to Remain		
Water Service Meter	1.00	EA	4,500.00	Existing to Remain		
Gas Service Meter	1.00	EA	4,500.00		4,500	
Trench Drain Cover at Kennels	170	LF	50.00		8,481	
Plumbing specialties				-		12,981

224400 Plumbing fixtures

Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	6.00	EA	450.00	Existing to Remain		
DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	Existing to Remain		
New Sink at Restroom	1	EA	1,200.00	Existing to Remain		
New Sink at Staging	1	EA	1,600.00	Existing to Remain		
New Toilet at Restroom	1	EA	1,200.00	Existing to Remain		
Plumbing fixtures				-		-

224500 Plumbing equipment

Allowance for equipment not yet defined	1	LS	3,000.00		3,000	
Plumbing equipment				-		3,000

224750 Pool & fountain equipment

NONE						
Pool & fountain equipment						-

224800 Special systems

Flush Testing	1	LS	2,000.00		2,000	
Commissioning	1	LS	2,000.00		2,000	
Special systems						4,000

SUBTOTAL MECHANICAL - PLUMBING

39,731

23 0000 MECHANICAL - HVAC235100 Hydronic & refrigerant piping

NONE						
Hydronic & refrigerant piping						-

235500 Heat generation

NONE						
Heat generation						-

236500 Refrigeration

Condensing Unit CU-1	1	EA	5,500.00		5,500	
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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	61	LF	60.00	3,654	
Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	62	LF	60.00	3,726	
Refrigeration					12,880
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					-
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
AHU-1 / Furnace in Storage 104	1	EA	8,400.00	8,400	
Air handling					52,950
<u>238800</u> <u>Air distribution</u>					
Demo Existing Systems/Duct, etc.	2,355	GSF	2.00	4,710	
Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
Exhaust Grille at Isolation	1	EA	300.00	300	
Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
Supply Grille at General Areas	6	EA	300.00	1,800	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					72,324
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
Controls					5,700
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	3,500.00	3,500	
Testing & balancing					3,500
SUBTOTAL HVAC					147,354
<u>26 0000</u> <u>ELECTRICAL</u>					
<u>262000</u> <u>Power generation</u>					

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road	1	LS	25,000.00	25,000	
New exterior meter on right side of building entrance	1	EA	5,000.00	5,000	
Reconnect Existing Generator	1	EA	2,125.00	2,125	
Power generation					32,125
<u>263000</u> <u>Medium voltage distribution</u>					
Medium Voltage Distribution Throughout	2,355.00	SF		-	
Medium voltage distribution					-
<u>264000</u> <u>Service & distribution</u>					
Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000	
New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	1,000.00	1,000	
60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400	
Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	2,200.00	2,200	
Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	2,125.00	2,125	
New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	2,060.00	2,060	
Dedicate electrical circuit with local fused disconnect switch at new Furnace	1	LS	2,060.00	2,060	
Service & distribution					13,845
<u>265000</u> <u>Lighting</u>					
Replacement Lighting Allowance	2,355	GSF	0.50	1,178	
New Exterior Light (Round)	2	EA	800.00	1,600	
Lighting					2,778
<u>266000</u> <u>Special systems</u>					
Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	2,355	SF	1.00		Existing to Remain
120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00		Existing to Remain
Grounding & bonding	1	LS	2,500.00		Existing to Remain
Wireless hub/router	4	EA	1,000.00	4,000	
TVSS & Misc Surge Protection	1	LS	2,500.00	2,500	
Submittals & Shop drawings	1	LS	2,500.00	2,500	
Operating Manuals & Training	1	LS	2,500.00	2,500	
Special systems					11,500
<u>267000</u> <u>Communication</u>					
Telephone wiring from central switch / Cat 6 cabling	1	LS	2,000.00		Existing to Remain
Communication					-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

268500 Electric resistance heating
w/HVAC

-

-

Electric resistance heating

-

269000 Controls
NONE

-

-

Controls

-

269500 Testing
Testing, Inspections & Certifications

1 LS

6,500.00

6,500

-

Testing

6,500

SUBTOTAL ELECTRICAL

66,748

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
31 0000 SITE WORK					
310500 Demolition					
Demo Existing Structure in its Entirety	2355	SF	10.00	23,550	
Restore Site	1	LS	5,000.00	5,000	
Demolition					28,550
312000 Site preparation					
Construction Entrance	1,400	SF	2.00	2,800	
Silt Fence	500	LF	1.85	925	
Anti-Tracking Pad	800	SF	4.00	3,200	
Street Cleaning	1	LS	2,500.00	2,500	
Traffic Control/signage	1	LS	2,000.00	2,000	
Site Cleanup	1	LS	2,500.00	2,500	
Temporary construction barrier	400	LF	14.00	5,600	
Topsoil Stockpile Area	2,000	SF	4.00	8,000	
Site preparation					27,525
313000 Earthwork					
Excavation/backfill at new underground utility lines	533	CY	65.00	34,667	
Excavation/backfill at new foundations	227	CY	50.00	11,331	
Bulk building excavation	8,030	CY	8.50	68,255	
Proof-rolling at slab	4,015	SF	2.00	8,030	
Furnish & spread gravel base / Fine Grading at Slab	4,015	SF	2.10	8,432	
Furnish & spread gravel base / Fine Grading at pavement areas	9,965	SF	2.10	20,926	
Additional 6" crushed stone at interior slab	93	CY	30.00	2,788	
Earthwork					154,428
315000 Utility Services					
New Utilities Allowance - Electric	1	LS	15,000.00	15,000	
New Utilities Allowance - Water	1	LS	15,000.00	15,000	
New Utilities Allowance - Sanitary	1	LS	15,000.00	15,000	
New Utilities Allowance - Storm	1	LS	15,000.00	15,000	
New Utilities Allowance - Gas	1	LS	15,000.00	15,000	
Utility Services					75,000
318000 Site Improvements and Amenities					
Lawn / Sod Areas	16,060	SF	0.50	8,030	
Plantings	1	LS	2,000.00	2,000	
Tree (Large)	1	EA	1,600.00	1,600	
Tree (Small)	3	EA	1,200.00	3,600	
New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	55	SF	35.00	1,925	
New Exterior Chain Link @ Kennels	540	LF	16.50	8,902	
New Exterior Chain Link Gate (3'-2") @ Kennels	28	EA	350.00	9,800	
New Interior Chain Link @ Kennels	372	LF	16.50	6,132	
New Interior Chain Link Gate (3'-2") @ Kennels	26	EA	350.00	9,100	
New Interior Chain Link Gate @ Cat Kennels	5	EA	250.00	1,250	
Bituminous Asphalt Paving at Parking Spaces	1,447	SF	7.00	10,128	
Bituminous Asphalt Paving to Garage	1,310	SF	7.00	9,167	
Parking Lot Line Striping (Spaces & HC Cross Hatching)	229	LF	5.00	1,143	
Curb	618	LF	45.00	27,828	
Ground Planter (Large)	75	SF	45.00	3,369	
Ground Planter (Small)	25	SF	45.00	1,107	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	Site Improvements and Amenities					105,081
<u>319500</u>	<u>Site Restoration and Rehabilitation</u>					
	Misc Site Restoration Allowance	1	LS	2,000.00	2,000	
	Site Restoration and Rehabilitation					2,000
	SUBTOTAL SITE WORK					392,584
<u>03 3000</u>	<u>CONCRETE</u>					
<u>031000</u>	<u>Concrete Forms and Accessories</u>					
	Misc. MEP housekeeping pads	1	LS	2,000.00	2,000	
	Concrete Forms and Accessories					2,000
<u>033000</u>	<u>Cast - In - Place Concrete (Foundation)</u>					
	Continuous Spread Footing - 3'-0" W x 1'-0" H	382.42	LF			
	Formwork (2-sided)	764.84	SF	15.00	11,473	
	Rebar - 100# / CY	2.34	TON	1,875.00	4,382	
	Concrete - material	46.74	CY	110.00	5,141	
	Concrete - place	46.74	CY	100.00	4,674	
	Frost Walls - 1'-0" W x 4'-0" H	382.42	LF		-	
	Formwork (2-sided)	3,059.36	SF	15.00	45,890	
	Rebar - 75# / CY	4.67	TON	1,875.00	8,764	
	Concrete - material	124.64	CY	110.00	13,710	
	Concrete - place	124.64	CY	100.00	12,464	
	Pump time - General	1.00	DAYS	800.00	800	
	New Slab on Grade	3,605	SF			
	Concrete materials (5" thickness)	61.20	CY	110.00	6,732	
	Edge form	1,217.00	LF	6.00	7,302	
	Place Concrete	3,605.29	SF	6.00	21,632	
	Trowel Finish Concrete	3,605.29	SF	1.00	3,605	
	#4 bar reinforcing at 12" OC each way	3,605.29	SF	6.00	21,632	
	Cure and Seal	3,605.29	SF	0.50	1,803	
	15 mil vapor barrier under slabs	3,605.29	SF	1.00	3,605	
	Pump	-	DAYS	1,100.00	-	
	New Exterior Slab on Grade	3,193	SF			
	Concrete materials (5" thickness)	54.21	CY	110.00	5,963	
	Edge form	1,217.00	LF	6.00	7,302	
	Place Concrete	3,193.32	SF	6.00	19,160	
	Trowel Finish Concrete	3,193.32	SF	1.00	3,193	
	#4 bar reinforcing at 12" OC each way	3,193.32	SF	6.00	19,160	
	Cure and Seal	3,193.32	SF	0.50	1,597	
	15 mil vapor barrier under slabs	3,193.32	SF	1.00	3,193	
	Pump	-	DAYS	1,100.00	-	
	Slab Trough @ Kennel Areas	122.62	LF	25.00	3,066	
	Exterior Concrete Pad for new DOAS Unit	240.00	SF	25.00	6,000	
	Exterior Concrete Pad for Generator	80.00	SF	25.00	2,000	
	Exterior Sidewalks H/C Ramp Transitions	2.00	LS	3,000.00	6,000	
	Cast - In - Place Concrete (Foundation)					250,243
<u>033000</u>	<u>Cast - In - Place Concrete (Super Structure)</u>					
	NONE					
	Cast - In - Place Concrete (Super Structure)					-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

SUBTOTAL CONCRETE

252,243

04 0000 MASONRY042000 Masonry Units

Exterior CMU Wall

4589.04 SF 35.00 160,616

Staging/scaffolding

2,294.52 SF 6.50 14,914

Brick Facing

4359.04 SF 38.00 165,644

New Precast Curb @ Perimeter of Wood Framed Office

49.28 LF 40.00 1,971

Feature Wall (Exterior) at South Exterior Kennel

426.80 SF 40.00 17,072

Feature Wall at Main Entry

304.30 SF 40.00 12,172

Masonry Units

372,390

049000 Masonry Restoration and Cleaning

NONE

Masonry Restoration and Cleaning

-

-

SUBTOTAL MASONRY

372,390

05 0000 METAL051000 Structural Steel

NONE

Structural Steel

-

052000 Metal Joists

NONE

Metal Joists

-

053000 Metal Deck

NONE

Metal Deck

-

055000 Metal Fabrications

Structural Steel Posts

21.00 EA 1,500.00 31,500

Metal Fabrications

31,500

058000 Expansion Control

NONE

Expansion Control

-

-

SUBTOTAL METAL

31,500

06 0000 WOOD & PLASTICS061000 Rough Carpentry

Roof Structure - Main Building

6,023 SF 22.00 132,495

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	Roof Structure - Main Entry	456	SF	22.00	10,042	
	Roof Blocking/fasteners	4,015	LF	4.25	17,064	
	Lift rental	1	LS	8,500.00	8,500	
	Misc. general hardware, fasteners	4,015	SF	3.50	14,053	
	Rough Carpentry - misc. blocking, etc.	4,015	SF	1.00	4,015	
	Temp Protection Allowance	1	LS	2,000.00	2,000	
	Safety & Maintenance	1	LS	3,500.00	3,500	
	Rough Carpentry					191,668
<u>062000</u>	<u>Finish Carpentry</u>					
	Running Trim/mouldings	4,015	SF	1.10	4,417	
	Window Sills	24.00	LF	30.00	720	
	Finish Carpentry					5,137
<u>064000</u>	<u>Architectural Woodwork</u>					
	Base & Upper Cab's at Staging	6.02	LF	675.00	4,064	
	Countertop at Staging	12.09	SF	50.00	605	
	New Desk/Work Surface at Office/Waiting	12.01	SF	750.00	9,008	
	Architectural Woodwork					13,676
	SUBTOTAL WOOD & PLASTICS					210,480
<u>07 0000</u>	<u>THERMAL & MOISTURE PROTECTION</u>					
<u>071000</u>	<u>Damproofing and Waterproofing</u>					
	NONE					
	Damproofing and Waterproofing					-
<u>072000</u>	<u>Thermal Protection</u>					
	Foundation Insulation	1,530	SF	4.50	6,884	
	Thermal Protection					6,884
<u>073000</u>	<u>Siding Systems</u>					
	NONE					
	Siding Systems					-
<u>075000</u>	<u>Roofing</u>					
	EPDM Roof	6,478.95	SF	21.00	136,058	
	Scuppers	8.00	SF	500.00	4,000	
	New Downspout	8.00	EA	900.00	7,200	
	Roofing					147,258
<u>076000</u>	<u>Flashing and Sheet Metal</u>					
	NONE					
	Flashing and Sheet Metal					-
<u>077000</u>	<u>Roof specialties and accessories</u>					
	NONE					
	Roof specialties and accessories					-

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>078000</u>	<u>Fire and Smoke Protection</u>					
	Firestopping	4,015	SF	0.68	2,730	-
	Fire and Smoke Protection					2,730
<u>079000</u>	<u>Joint sealers</u>					
	Misc. caulking, sealant and fire safing	4,015	SF	0.68	2,730	-
	Joint sealers					2,730
SUBTOTAL THERMAL & MOISTURE PROTECTION						159,602
<u>08 0000</u>	<u>DOORS & WINDOWS</u>					
<u>081000</u>	<u>Metal Doors and Frames</u>					
	Exterior Door, Frame & HW - Single	2	EA	2,400.00	4,800	
	Interior Door, Frame & HW - Single	13	EA	2,200.00	28,600	
	Interior Door, Frame & HW - Pair	2	EA	4,000.00	8,000	
	Metal Doors and Frames					41,400
<u>082000</u>	<u>Wood and Plastic Doors</u>					
	w/081000					
	Wood and Plastic Doors					-
<u>083000</u>	<u>Specialty Doors</u>					
	Allowance for access doors	1	LS	1,200.00	1,200	
	New Dog Pass Door	26	EA	250.00	6,500	
	Garage Door / OHD	1	LS	10,000.00	10,000	
	Specialty Doors					17,700
<u>084000</u>	<u>Entrances and Storefronts</u>					
	Full-Ht Storefront Wall at Adoptable Cats	195	LF	85.00	16,578	
	Storefront Door Pair at Adoptable Cats	1	EA	4,000.00	4,000	
	Storefront Door Pair at Main Entry	1	EA	4,000.00	4,000	
	Entrances and Storefronts					24,578
<u>008500</u>	<u>Windows</u>					
	Fiberglass Window	4	EA	1,000.00	4,000	
	Fiberglass Window - Double	1	EA	2,000.00	2,000	
	Windows					6,000
<u>088000</u>	<u>Glazing</u>					
	Bathroom Mirrors, installed (2'x3')	1	EA	330.00	330	
	Glazing					330
SUBTOTAL DOORS & WINDOWS						90,008
<u>09 0000</u>	<u>FINISHES</u>					
<u>092000</u>	<u>Plaster and Gypsum Board</u>					

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	New 5/8" Gypsum Board Ceiling All Areas	1,738	SF	10.00	17,383	
	New Interior Walls	2,580	SF	18.00	46,431	
	Plaster and Gypsum Board					63,814
<u>093000</u>	<u>Tile</u>					
	New Tile Flooring at Restroom	79	SF	22.00	1,746	
	New Tile Base at Restroom	39	LF	20.00	776	
	Tile					2,522
<u>095000</u>	<u>Ceilings</u>					
	NONE					
	Ceilings					-
<u>096000</u>	<u>Flooring</u>					
	Adoptable Cats - Resilient	203	SF	6.00	1,216	
	Back Corridor - Sealed Concrete	79	SF	3.00	238	
	Cat Kennels - Sealed Concrete	78	SF	3.00	234	
	Cat Quarantine - Sealed Concrete	53	SF	3.00	158	
	Decontamination - Sealed Concrete	122	SF	3.00	367	
	Dog Meeting Area - Stained/Sealed Concrete	252	SF	6.00	1,511	
	Dog Quarantine - Sealed Concrete	132	SF	3.00	396	
	Electrical Room - Sealed Concrete	35	SF	3.00	105	
	Exterior Kennel Area	1,269	SF	-	-	
	Food Storage - Resilient	71	SF	6.00	429	
	Garage Corridor - Sealed Concrete	46	SF	3.00	138	
	Interior Kennel Area - Sealed Concrete	1,254	SF	3.00	3,761	
	Janitor Closet - Sealed Concrete	16	SF	3.00	49	
	Kitchenette - Resilient	159	SF	6.00	953	
	Main Circulation Corridor - Sealed Concrete	404	SF	3.00	1,213	
	Office - Resilient	94	SF	6.00	564	
	Reception - Resilient	67	SF	6.00	401	
	Flooring					11,733
<u>097000</u>	<u>Wall Finishes</u>					
	NONE					
	Wall Finishes					-
<u>098000</u>	<u>Acoustical Treatment</u>					
	NONE					
	Acoustical Treatment					-
<u>099000</u>	<u>Paints and Coatings</u>					
	New Interior Partitions	5,159	SF	2.00	10,318	
	GWB Ceilings	1,812	SF	2.00	3,623	
	Paint Exposed Structure above	1,254	SF	2.50	3,134	
	Paint Door Leafs & Frames	17	EA	275.00	4,675	
	Paints and Coatings					21,750
	SUBTOTAL FINISHES					99,819
<u>10 0000</u>	<u>SPECIALTIES</u>					

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>101000</u>	<u>Compartments and Cubicles</u> NONE					
	Compartments and Cubicles					-
<u>102600</u>	<u>Identifying devices</u> Interior Wayfinding & Room Signage	4,015.00	GSF	0.80	3,212	
	Identifying devices					3,212
<u>102700</u>	<u>Lockers</u> Locker / Storage Cabinet Allowance	1	AL	3,000.00	3,000	
	Lockers					3,000
<u>105220</u>	<u>Postal equipment</u> NONE					
	Postal equipment					-
<u>108000</u>	<u>Bathroom & toilet accessories</u> H/C Grab Bars	2	EA	165.00	330	
	Soap dispensers, installed	1	EA	55.00	55	
	Paper Towel Dispensers	1	EA	300.00	300	
	Toilet paper Dispenser, installed	1	EA	85.00	85	
	Waste receptacles, installed	1	EA	160.00	160	
	Bathroom & toilet accessories					930
<u>108800</u>	<u>Fire Protection Specialties</u> FEC's - surface mounted	6	EA	450.00	2,700	
	Fire Protection Specialties					2,700
<u>109900</u>	<u>Miscellaneous Specialties</u> Marker Boards/White Boards	4	EA	1,200.00	4,800	
	Miscellaneous Specialties					4,800
	SUBTOTAL SPECIALTIES					14,642
<u>11 0000</u>	<u>EQUIPMENT</u>					
<u>113100</u>	<u>Kitchen Equipment</u> Reach-In Refrigerator - Medicines, etc.	1	EA	2,500.00	2,500	
	Reach-In Refrigerator for Staff	1	EA	2,500.00	2,500	
	Washer/Dryer	1	EA	2,500.00	2,500	
	Kitchen Equipment					7,500
	SUBTOTAL EQUIPMENT					7,500
<u>12 0000</u>	<u>FURNISHING</u>					
<u>124000</u>	<u>Furnishings and Accessories</u> NONE					

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Furnishings and Accessories -

SUBTOTAL FURNISHING -13 0000 **SPECIAL CONSTRUCTION**13120 Special Construction
NONE

Special Construction -

SUBTOTAL SPECIAL CONSTRUCTION -14 0000 **CONVEYING SYSTEM**142000 Elevators
NONE

Elevators -

SUBTOTAL CONVEYING SYSTEM -21 0000 **MECHANICAL - FIRE PROTECTION**213100 Fire protection piping
NONE

Fire protection piping -

213200 Fire pumps
NONE

Fire pumps -

213300 Wet pipe sprinkler system
NONE

Wet pipe sprinkler system -

213350 Dry pipe sprinkler system
NONE

Dry pipe sprinkler system -

SUBTOTAL FIRE PROTECTION -22 0000 **MECHANICAL - PLUMBING**224100 Plumbing piping

New piping

406.25 LF 65.00 26,406

New piping Insulation

406.25 LF 22.00 8,938

2" Gas Piping

312.50 LF 65.00 20,313

Gas Valves & Accessories

1.00 LS 3,500.00 3,500

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	New Sanitary Piping	150.00	LF	75.00	11,250	
	New Sanitary Vent Piping	82.50	LF	65.00	5,363	
	Plumbing piping					75,769
<u>224300</u>	<u>Plumbing specialties</u>					
	Backflow Preventer	1.00	EA	3,500.00	3,500	
	Water Service Meter	1.00	EA	4,500.00	4,500	
	Gas Service Meter	1.00	EA	4,500.00	4,500	
	Trench Drain Cover at Kennels	123	LF	50.00	6,131	
	Plumbing specialties				-	18,631
<u>224400</u>	<u>Plumbing fixtures</u>					
	Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	4	EA	450.00	1,800	
	DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	2,600	
	Double Sink at Kitchenette	1	EA	1,600.00	1,600	
	Drinking Fountain	2	EA	1,800.00	3,600	
	Shower	1	EA	2,200.00	2,200	
	Sink at Decontamination	1	EA	1,200.00	1,200	
	Slop Sink at Decontamination	1	EA	1,400.00	1,400	
	Floor Sink at Janitor Closet	1	EA	1,200.00	1,200	
	Toilet	1	EA	1,200.00	1,200	
	Wall Mounted Sink at Restroom	1	EA	1,200.00	1,200	
	Plumbing fixtures				-	18,000
<u>224500</u>	<u>Plumbing equipment</u>					
	Allowance for equipment not yet defined	1	LS	3,000.00	3,000	
	Plumbing equipment				-	3,000
<u>224750</u>	<u>Pool & fountain equipment</u>					
	NONE					
	Pool & fountain equipment					-
<u>224800</u>	<u>Special systems</u>					
	Flush Testing	1	LS	2,500.00	2,500	
	Commissioning	1	LS	2,500.00	2,500	
	Special systems					5,000
	SUBTOTAL MECHANICAL - PLUMBING					120,400

23 0000 **MECHANICAL - HVAC**235100 Hydronic & refrigerant piping
NONE

Hydronic & refrigerant piping

-

235500 Heat generation
NONE

Heat generation

-

236500 Refrigeration

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	Condensing Unit CU-1	1	EA	5,500.00	5,500	
	Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	76	LF	60.00	4,568	
	Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	78	LF	60.00	4,658	
	Refrigeration					14,725
<u>237500</u>	<u>Heat transfer</u> NONE					
	Heat transfer					-
<u>238500</u>	<u>Air handling</u> Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
	Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
	AHU-1 / Furnace	1	EA	8,400.00	8,400	
	Air handling					52,950
<u>238800</u>	<u>Air distribution</u> Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
	Exhaust Grille at Isolation	1	EA	300.00	300	
	Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
	Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
	Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
	Supply Grille at General Areas	6	EA	300.00	1,800	
	12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
	14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
	New Flue Pipe	4	EA	1,200.00	4,800	
	Air distribution					67,614
<u>239500</u>	<u>Controls</u> Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
	Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
	Controls					5,700
<u>239900</u>	<u>Testing & balancing</u> Testing & Balancing	1.00	LS	3,500.00	3,500	
	Testing & balancing					3,500
	SUBTOTAL HVAC					144,489
<u>26 0000</u>	<u>ELECTRICAL</u>					
<u>262000</u>	<u>Power generation</u> Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road	1	LS	25,000.00	25,000	
	New exterior meter on right side of building entrance	1	EA	5,000.00	5,000	
	Reconnect Existing Generator	1	EA	6,500.00	6,500	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			4,015	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
Power generation						36,500
<u>263000</u> <u>Medium voltage distribution</u>						
Medium Voltage Distribution Throughout	4,015.00	SF	2.50	10,038		
Medium voltage distribution						10,038
<u>264000</u> <u>Service & distribution</u>						
Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000		
New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	3,000.00	3,000		
60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400		
Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	3,800.00	3,800		
Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	3,725.00	3,725		
New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	3,660.00	3,660		
Dedicated electrical circuit with local fused disconnect switch at new Furnace	1	LS	3,660.00	3,660		
Service & distribution						22,245
<u>265000</u> <u>Lighting</u>						
New Lighting Allowance	4,015	GSF	6.00	24,090		
New Exterior Light (Round)	2	EA	800.00	1,600		
Lighting						25,690
<u>266000</u> <u>Special systems</u>						
Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	4,015	SF	1.50	6,023		
120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00	4,400		
Grounding & bonding	1	LS	7,500.00	7,500		
Wireless hub/router	4	EA	1,000.00	4,000		
TVSS & Misc Surge Protection	1	LS	2,500.00	2,500		
Submittals & Shop drawings	1	LS	2,500.00	2,500		
Operating Manuals & Training	1	LS	2,500.00	2,500		
Special systems				-		29,423
<u>267000</u> <u>Communication</u>						
Telephone wiring from central switch / Cat 6 cabling	1	LS	2,000.00	2,000		
Communication				-		2,000
<u>268500</u> <u>Electric resistance heating</u>						
w/HVAC				-		
Electric resistance heating				-		-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			4,015	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>269000</u>	<u>Controls</u>					
	NONE				-	
	Controls				-	-
<u>269500</u>	<u>Testing</u>					
	Testing, Inspections & Certifications	1	LS	6,500.00	6,500	
	Testing				-	6,500
	SUBTOTAL ELECTRICAL					132,395

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
31 0000 SITE WORK					
310500 Demolition					
NONE					
Demolition					-
312000 Site preparation					
Construction Entrance	2,000	SF	2.00	4,000	
Silt Fence	500	LF	1.85	925	
Anti-Tracking Pad	800	SF	4.00	3,200	
Street Cleaning	1	LS	2,500.00	2,500	
Traffic Control/signage	1	LS	2,000.00	2,000	
Site Cleanup	1	LS	2,500.00	2,500	
Temporary construction barrier	300	LF	14.00	4,200	
Topsoil Stockpile Area	2,000	SF	4.00	8,000	
Site preparation					27,325
313000 Earthwork					
Excavation/backfill at new underground utility lines	444	CY	65.00	28,889	
Excavation/backfill at new foundations	127	CY	50.00	6,338	
Bulk building excavation	4,710	CY	8.50	40,035	
Proof-rolling at slab	2,355	SF	2.00	4,710	
Furnish & spread gravel base / Fine Grading at Slab	2,355	SF	2.10	4,946	
Furnish & spread gravel base / Fine Grading at pavement areas	20,000	SF	2.10	42,000	
Additional 6" crushed stone at interior slab	55	CY	30.00	1,635	
Earthwork					128,553
315000 Utility Services					
New Utilities Allowance - Electric	1	LS	15,000.00	15,000	
New Utilities Allowance - Water	1	LS	15,000.00	15,000	
New Utilities Allowance - Sanitary	1	LS	15,000.00	15,000	
New Utilities Allowance - Storm	1	LS	15,000.00	15,000	
New Utilities Allowance - Gas	1	LS	15,000.00	15,000	
Utility Services					75,000
318000 Site Improvements and Amenities					
Lawn / Sod Areas	9,420	SF	0.50	4,710	
Plantings	1	LS	2,000.00	2,000	
New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	41.71	SF	35.00	1,460	
New Exterior Chain Link	183.62	LF	16.50	3,030	
New Exterior Chain Link @ Kennels	385.68	LF	16.50	6,364	
New Exterior Chain Link Gate (3'-2") @ Kennels	22	EA	350.00	7,700	
New Interior Chain Link @ Kennels	424.47	LF	16.50	7,004	
New Interior Chain Link Gate (3'-2") @ Kennels	25	EA	350.00	8,750	
Site Improvements and Amenities					41,017
319500 Site Restoration and Rehabilitation					
Misc Site Restoration Allowance	1	LS	2,000.00	2,000	
Site Restoration and Rehabilitation					2,000
SUBTOTAL SITE WORK					273,895

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

03 3000 CONCRETE**031000 Concrete Forms and Accessories**

Misc. MEP housekeeping pads

1 LS 2,000.00 2,000

Concrete Forms and Accessories

2,000

033000 Cast - In - Place Concrete (Foundation)

Continous Spread Footing - 3'-0" W x 1'-0" H

213.90 LF

Formwork (2-sided)

427.80 SF 15.00 6,417

Rebar - 100# / CY

1.31 TON 1,875.00 2,451

Concrete - material

26.14 CY 110.00 2,876

Concrete - place

26.14 CY 100.00 2,614

Frost Walls - 1'-0" W x 4'-0" H

213.90 LF -

Formwork (2-sided)

1,711.20 SF 15.00 25,668

Rebar - 75# / CY

2.61 TON 1,875.00 4,902

Concrete - material

69.72 CY 110.00 7,669

Concrete - place

69.72 CY 100.00 6,972

Pump time - General

1.00 DAYS 800.00 800

New Slab on Grade (Kennel #1)

514 SF

Concrete materials (5" thickness)

8.72 CY 110.00 959

Edge form

1,217.00 LF 6.00 7,302

Place Concrete

513.75 SF 6.00 3,083

Trowel Finish Concrete

513.75 SF 1.00 514

#4 bar reinforcing at 12" OC each way

513.75 SF 6.00 3,083

Cure and Seal

513.75 SF 0.50 257

15 mil vapor barrier under slabs

513.75 SF 1.00 514

Pump

- DAYS 1,100.00 -

New Slab on Grade (Kennel #2)

514 SF

Concrete materials (5" thickness)

8.72 CY 110.00 959

Edge form

1,217.00 LF 6.00 7,302

Place Concrete

513.68 SF 6.00 3,082

Trowel Finish Concrete

513.68 SF 1.00 514

#4 bar reinforcing at 12" OC each way

513.68 SF 6.00 3,082

Cure and Seal

513.68 SF 0.50 257

15 mil vapor barrier under slabs

513.68 SF 1.00 514

Pump

- DAYS 1,100.00 -

New Slab on Grade (Kennel #3)

470 SF

Concrete materials (5" thickness)

7.97 CY 110.00 877

Edge form

1,217.00 LF 6.00 7,302

Place Concrete

469.59 SF 6.00 2,818

Trowel Finish Concrete

469.59 SF 1.00 470

#4 bar reinforcing at 12" OC each way

469.59 SF 6.00 2,818

Cure and Seal

469.59 SF 0.50 235

15 mil vapor barrier under slabs

469.59 SF 1.00 470

Pump

- DAYS 1,100.00 -

New Slab at General Areas

858 SF

Concrete materials (5" thickness)

14.56 CY 110.00 1,602

Edge form

1,217.00 LF 6.00 7,302

Place Concrete

857.98 SF 6.00 5,148

Trowel Finish Concrete

857.98 SF 1.00 858

#4 bar reinforcing at 12" OC each way

857.98 SF 6.00 5,148

Cure and Seal

857.98 SF 0.50 429

15 mil vapor barrier under slabs

857.98 SF 1.00 858

Pump

- DAYS 1,100.00 -

Slab Trough @ Kennel Areas

169.61 LF 25.00 4,240

Exterior Concrete Pad for new DOAS Unit

240.00 SF 25.00 6,000

Exterior Sidewalks/Misc Flatwork

1.00 LS 10,000.00 10,000

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Cast - In - Place Concrete (Foundation) 148,361

033000 Cast - In - Place Concrete (Super Structure)
NONE

Cast - In - Place Concrete (Super Structure) -

SUBTOTAL CONCRETE 150,361

04 0000 **MASONRY**042000 Masonry Units

Exterior CMU Wall

2140 SF

40.00 85,600

Staging/scaffolding

2,140.00 SF

10.00 21,400

New Precast Curb @ Perimeter of Wood Framed Office

49.28 LF

40.00 1,971

Masonry Units 108,971

049000 Masonry Restoration and Cleaning
NONE

Masonry Restoration and Cleaning

-

-

SUBTOTAL MASONRY 108,971

05 0000 **METAL**051000 Structural Steel

NONE

Structural Steel -

052000 Metal Joists

NONE

Metal Joists -

053000 Metal Deck

NONE

Metal Deck -

055000 Metal Fabrications

New 4x4 Galvanized Steel Tube

9.00 EA

1,500.00 13,500

New Mechanical Catwalk Access Ladder

1.00 EA

3,000.00 3,000

Metal Fabrications 16,500

058000 Expansion Control

NONE

Expansion Control -

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
SUBTOTAL METAL					16,500

06 0000 WOOD & PLASTICS**061000 Rough Carpentry**

Roof Trusses @ 24" OC	26	EA	800.00	20,800	
Roof Blocking/fasteners	2,355	LF	4.25	10,009	
Lift rental	1	LS	6,500.00	6,500	
Misc. general hardware, fasteners	2,355	SF	3.50	8,243	
Rough Carpentry - misc. blocking, etc.	2,355	SF	1.00	2,355	
Temp Protection Allowance	1	LS	3,000.00	3,000	
Safety & Maintenance	1	LS	5,000.00	5,000	
Rough Carpentry					55,906

062000 Finish Carpentry

Running Trim/mouldings	2,355	SF	1.10	2,591	
Window Sills	24.00	LF	30.00	720	
Finish Carpentry					3,311

064000 Architectural Woodwork

Base & Upper Cab's at Staging	6.02	LF	700.00	4,214	
Countertop at Staging	12.09	SF	50.00	605	
New Desk/Work Surface at Office/Waiting	12.01	SF	800.00	9,608	
Architectural Woodwork					14,427

SUBTOTAL WOOD & PLASTICS

73,643

07 0000 THERMAL & MOISTURE PROTECTION**071000 Damproofing and Waterproofing**

NONE					
Damproofing and Waterproofing					-

072000 Thermal Protection

Foundation Insulation	856	SF	4.50	3,850	
Thermal Protection					3,850

073000 Siding Systems

New Fascia Trim w/Aluminum Wrap	198.67	LF	30.00	5,960	
New Exterior Wall Louver	2.00	EA	500.00	1,000	
New 2" Rigid insulation over CMU	1,964.28	SF	4.00	7,857	
New 2" Z-Channel @ 24" OC	1,964.28	SF	4.00	7,857	
New 5/8" Sheathing over CMU	1,964.28	SF	6.50	12,768	
New AVB over CMU	1,964.28	SF	4.00	7,857	
New Cementitious Fiberboard Siding over CMU	1,964.28	SF	10.00	19,643	
Siding Systems					62,942

075000 Roofing

Roof Sheathing	901.48	SF	10.00	9,015	
New Architectural Shingle Roof throughout	901.48	SF	10.00	9,015	
New Downspout	5.00	EA	900.00	4,500	
New Gutters	104.26	LF	16.00	1,668	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
Roofing					24,198
<u>076000</u> <u>Flashing and Sheet Metal</u> NONE					
Flashing and Sheet Metal					-
<u>077000</u> <u>Roof specialties and accessories</u> NONE					
Roof specialties and accessories					-
<u>078000</u> <u>Fire and Smoke Protection</u> Firestopping	2,355	SF	0.68	1,601	
Fire and Smoke Protection				-	1,601
<u>079000</u> <u>Joint sealers</u> Misc. caulking, sealant and fire safing	2,355	SF	0.68	1,601	
Joint sealers				-	1,601
SUBTOTAL THERMAL & MOISTURE PROTECTION					94,193
<u>08 0000</u> <u>DOORS & WINDOWS</u>					
<u>081000</u> <u>Metal Doors and Frames</u> Exterior Door, Frame & HW - Single	1	EA	2,400.00	2,400	
Exterior Door, Frame & HW - Single w/Sidelite	2	EA	2,800.00	5,600	
Interior Door, Frame & HW - Single	9	EA	2,200.00	19,800	
Interior Pair of Slider Closet Doors	2	EA	2,000.00	4,000	
Metal Doors and Frames				-	31,800
<u>082000</u> <u>Wood and Plastic Doors</u> w/081000					
Wood and Plastic Doors					-
<u>083000</u> <u>Specialty Doors</u> Allowance for access doors	1	LS	1,200.00	1,200	
New Dog Pass Door	22	EA	250.00	5,500	
Specialty Doors					6,700
<u>084000</u> <u>Entrances and Storefronts</u> NONE					
Entrances and Storefronts					-
<u>008500</u> <u>Windows</u> Fiberglass Window	2	EA	1,000.00	2,000	
Fiberglass Window - Double	1	EA	2,000.00	2,000	
Windows					4,000

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>088000</u> <u>Glazing</u>					
Bathroom Mirrors, installed (2'x3')	1	EA	330.00	330	
Glazing					330
SUBTOTAL DOORS & WINDOWS					42,830
<u>09 0000</u> <u>FINISHES</u>					
<u>092000</u> <u>Plaster and Gypsum Board</u>					
New 5/8" Gypsum Board Ceiling All Areas	788	SF	10.00	7,883	
New Interior Walls	2,200	SF	18.00	39,604	
Plaster and Gypsum Board					47,486
<u>093000</u> <u>Tile</u>					
New Tile Flooring at Restroom	21	SF	22.00	472	
New Tile Base at Restroom	16	LF	20.00	317	
Tile					789
<u>095000</u> <u>Ceilings</u>					
NONE					
Ceilings					-
<u>096000</u> <u>Flooring</u>					
New Concrete Sealer at Isolation	38	SF	3.00	115	
New Base at Isolation	25	LF	5.00	124	
New Resilient Flooring at Main Corridors at Center of Building	255	SF	7.00	1,787	
New Base at Main Corridors at Center of Building	83	LF	5.00	414	
New Resilient Flooring at Office/Waiting	244	SF	7.00	1,705	
New Base at Office/Waiting	88	LF	5.00	439	
New Resilient Flooring at Staging	127	SF	7.00	888	
New Base at Storage	40	LF	5.00	201	
Flooring					5,671
<u>097000</u> <u>Wall Finishes</u>					
NONE					
Wall Finishes					-
<u>098000</u> <u>Acoustical Treatment</u>					
NONE					
Acoustical Treatment					-
<u>099000</u> <u>Paints and Coatings</u>					
Wall Painting at Isolation	247	SF	2.00	494	
Wall Painting at Main Corridors at Center of Building	829	SF	2.00	1,657	
Wall Painting at Office/Waiting Walls	877	SF	2.00	1,755	
Wall Painting at Restroom	159	SF	2.00	317	
Wall Painting at Staging	424	SF	2.00	848	
Wall Painting at Storage	401	SF	2.00	803	
GWB Ceilings	788	SF	2.00	1,576	
Paint Exposed Structure above	1,497	SF	2.50	3,743	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			2,355	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
	Paint Exterior Cementitious Fiberboard Siding	1,964	SF	3.00	5,893	
	Paint Door Leafs & Frames	14	EA	275.00	3,850	
	Paints and Coatings					20,936
	SUBTOTAL FINISHES					74,882
10 0000	<u>SPECIALTIES</u>					
101000	<u>Compartments and Cubicles</u>					
	NONE					
	Compartments and Cubicles					-
102600	<u>Identifying devices</u>					
	Interior Wayfinding & Room Signage	2,355.00	GSF	0.80	1,884	
	Identifying devices					1,884
102700	<u>Lockers</u>					
	Locker / Storage Cabinet Allowance	1	AL	3,000.00	3,000	
	Lockers					3,000
105220	<u>Postal equipment</u>					
	NONE					
	Postal equipment					-
108000	<u>Bathroom & toilet accessories</u>					
	H/C Grab Bars	2	EA	165.00	330	
	Soap dispensers, installed	1	EA	55.00	55	
	Paper Towel Dispensers	1	EA	300.00	300	
	Toilet paper Dispenser, installed	1	EA	85.00	85	
	Waste receptacles, installed	1	EA	160.00	160	
	Bathroom & toilet accessories					930
108800	<u>Fire Protection Specialties</u>					
	FEC's - surface mounted	5	EA	450.00	2,250	
	Fire Protection Specialties					2,250
109900	<u>Miscellaneous Specialties</u>					
	Marker Boards/White Boards	4	EA	1,200.00	4,800	
	Miscellaneous Specialties					4,800
	SUBTOTAL SPECIALTIES					12,864
11 0000	<u>EQUIPMENT</u>					
113100	<u>Kitchen Equipment</u>					
	Reach-In Refrigerator - Medicines, etc.	1	EA	2,500.00	2,500	
	Reach-In Refrigerator for Staff	1	EA	2,500.00	2,500	

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	

Kitchen Equipment					5,000	
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SUBTOTAL EQUIPMENT					5,000	
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12 0000 FURNISHING

124000 Furnishings and Accessories
NONE

Furnishings and Accessories					-	
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SUBTOTAL FURNISHING					-	
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13 0000 SPECIAL CONSTRUCTION

13120 Special Construction
NONE

Special Construction					-	
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SUBTOTAL SPECIAL CONSTRUCTION					-	
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14 0000 CONVEYING SYSTEM

142000 Elevators
NONE

Elevators					-	
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SUBTOTAL CONVEYING SYSTEM					-	
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21 0000 MECHANICAL - FIRE PROTECTION

213100 Fire protection piping
NONE

Fire protection piping					-	
------------------------	--	--	--	--	---	--

213200 Fire pumps
NONE

Fire pumps					-	
------------	--	--	--	--	---	--

213300 Wet pipe sprinkler system
NONE

Wet pipe sprinkler system					-	
---------------------------	--	--	--	--	---	--

213350 Dry pipe sprinkler system
NONE

Dry pipe sprinkler system					-	
---------------------------	--	--	--	--	---	--

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

SUBTOTAL FIRE PROTECTION

-

22 0000 MECHANICAL - PLUMBING**224100 Plumbing piping**

New piping	325.00	LF	65.00	21,125
New piping Insulation	325.00	LF	22.00	7,150
2" Gas Piping	250.00	LF	65.00	16,250
Gas Valves & Accessories	1.00	LS	3,500.00	3,500
New Sanitary Piping	120.00	LF	75.00	9,000
New Sanitary Vent Piping	66.00	LF	65.00	4,290

Plumbing piping 61,315

224300 Plumbing specialties

Backflow Preventer	1.00	EA	3,500.00	3,500
Water Service Meter	1.00	EA	4,500.00	4,500
Gas Service Meter	1.00	EA	4,500.00	4,500
Trench Drain Cover at Kennels	170	LF	50.00	8,481

Plumbing specialties - 20,981

224400 Plumbing fixtures

Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	6.00	EA	450.00	2,700
DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	2,600
New Sink at Restroom	1	EA	1,200.00	1,200
New Sink at Staging	1	EA	1,600.00	1,600
New Toilet at Restroom	1	EA	1,200.00	1,200

Plumbing fixtures - 9,300

224500 Plumbing equipment

Allowance for equipment not yet defined	1	LS	3,000.00	3,000
---	---	----	----------	-------

Plumbing equipment - 3,000

224750 Pool & fountain equipment

NONE

Pool & fountain equipment -

224800 Special systems

Flush Testing	1	LS	2,500.00	2,500
Commissioning	1	LS	2,500.00	2,500

Special systems 5,000

SUBTOTAL MECHANICAL - PLUMBING

99,596

23 0000 MECHANICAL - HVAC**235100 Hydronic & refrigerant piping**

NONE

Hydronic & refrigerant piping -

235500 Heat generation

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
NONE					
Heat generation					-
<u>236500</u> <u>Refrigeration</u>					
Condensing Unit CU-1	1	EA	5,500.00	5,500	
Condensing Unit Refrigerant Return Line to "A" Coil Located in Storage 104	61	LF	60.00	3,654	
Condensing Unit Refrigerant Supply Line to "A" Coil Located in Storage 104	62	LF	60.00	3,726	
Refrigeration					12,880
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					-
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	43,750.00	43,750	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	1.00	EA	800.00	800	
AHU-1 / Furnace in Storage 104	1	EA	8,400.00	8,400	
Air handling					52,950
<u>238800</u> <u>Air distribution</u>					
Exhaust/Return Ductwork at Kennel Areas	976	LBS	12.00	11,712	
Exhaust Grille at Isolation	1	EA	300.00	300	
Exhaust/Return Ductwork at General Areas	163	LBS	12.00	1,956	
Supply Ductwork at General Areas	1,264	LBS	12.00	15,168	
Supply Ductwork at Kennel Areas	2,269	LBS	12.00	27,228	
Supply Grille at General Areas	6	EA	300.00	1,800	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	300.00	3,600	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	350.00	1,050	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					67,614
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	3,200.00	3,200	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	2,500.00	2,500	
Controls					5,700
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	3,500.00	3,500	
Testing & balancing					3,500
SUBTOTAL HVAC					142,644
<u>26 0000</u> <u>ELECTRICAL</u>					

7/28/2022

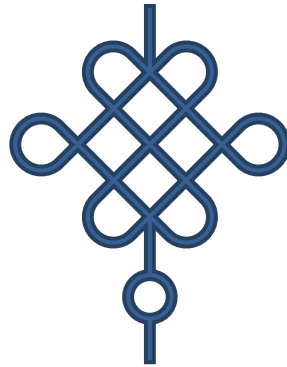
KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		2,355	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>262000</u> <u>Power generation</u>					
Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road	1	LS	25,000.00	25,000	
New exterior meter on right side of building entrance	1	EA	5,000.00	5,000	
Reconnect Existing Generator	1	EA	6,500.00	6,500	
Power generation					36,500
<u>263000</u> <u>Medium voltage distribution</u>					
Medium Voltage Distribution Throughout	2,355.00	SF	2.00	4,710	
Medium voltage distribution					4,710
<u>264000</u> <u>Service & distribution</u>					
Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000	
New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	1,000.00	1,000	
60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400	
Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	2,200.00	2,200	
Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	2,125.00	2,125	
New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	2,060.00	2,060	
Dedicated electrical circuit with local fused disconnect switch at new Furnace	1	LS	2,060.00	2,060	
Service & distribution					13,845
<u>265000</u> <u>Lighting</u>					
New Lighting Allowance	2,355	GSF	6.00	14,130	
New Exterior Light (Round)	2	EA	800.00	1,600	
Lighting					15,730
<u>266000</u> <u>Special systems</u>					
Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	2,355	SF	1.00	2,355	
120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00	4,400	
Grounding & bonding	1	LS	7,500.00	7,500	
Wireless hub/router	4	EA	1,000.00	4,000	
TVSS & Misc Surge Protection	1	LS	2,500.00	2,500	
Submittals & Shop drawings	1	LS	2,500.00	2,500	
Operating Manuals & Training	1	LS	2,500.00	2,500	
Special systems				-	25,755
<u>267000</u> <u>Communication</u>					
Telephone wiring from central switch / Cat 6 cabling	1	LS	2,000.00	2,000	
Communication				-	2,000

7/28/2022

KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		2,355		GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>268500</u>	<u>Electric resistance heating</u> w/HVAC				-	
	Electric resistance heating				-	-
<u>269000</u>	<u>Controls</u> NONE				-	
	Controls				-	-
<u>269500</u>	<u>Testing</u> Testing, Inspections & Certifications	1	LS	6,500.00	6,500	
	Testing				-	6,500
	SUBTOTAL ELECTRICAL					105,040



Appendix C

Schematic Design
Narrative



Bristol Animal Facility MEP & Building Assessment

126 Vincent P Kelly Rd
Bristol, CT 06010

M.E.P. SCHEMATIC DESIGN NARRATIVE (EXISTING BUILDING)

Prepared for:

Raymond Rogozinski
Director of Public Works
City of Bristol
Bristol, CT 06011

Date:
May 27, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc
10 Talcott Notch Road
Farmington, CT 06032

van Zelm #2021200.00



HEATING, VENTILATION AND AIR CONDITIONING

HVAC Demolition

Existing ceiling hung gas unit heaters and all associated, flues, and wiring to be removed back to the source and made safe. Gas piping removal shall be covered under Plumbing Contractor.

Remove and replace ceilings in area of renovation to allow access for new construction. Ceiling replacement shall occur after completion of MEP work, Refer to architectural drawings for details.

Remove all associated Kennel area exhaust distribution ductwork as well as both end gable exhaust fans. Remove all wiring back to panel and make safe.
Remove all associated flues from Unit Heaters, water heater in their entirety. Refer to architectural drawings for room ceiling and roof patching.

Note: It is assumed that there is no asbestos or lead in the work zone. Remediation is not included in this scope of work.

HVAC New Work (Kennel area system)

Provide new concrete pad for new exterior DOAS Unit serving the three kennels.

Provide new plenum and new Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans. System shall be capable of delivering 2,400 CFM of outdoor air @ 55°F summer conditions and 85°F winter outdoor air conditions. This CFM to the three kennels will equate to approximately 12 A/C per hour. Unit shall sit on 12 high concrete pad provided by General contractor. Unit shall be provided with 24" high plenum below unit on pad to allow bottom supply and exhaust ductwork to and from DOAS. Pad shall allow unit to sit approx. 6'-0" off building wall for code required electrical clearances at high voltage connection point. Refer to sketch for additional details

Provide new gas line from new gas meter location as required. Meter and distribution piping may need to be increased to serve new loads. Coordinate all gas piping with Plumbing Contractor.

Provide supply and exhaust ductwork with aluminum foil wrap to protect insulation from UV exposure as well as keep insulation dry. Ductwork shall run under galvanized platform to building wall and rise into attic space. Gable end on roof provided by Architect.

This system shall run 24/7 and maintain a steady constant room temperature inside each kennel. Utilizing 100% O.A. each room will be treated as an independent zone helping to create a clean safe environment. (Refer to HVAC schematic plan).

HVAC New Work (Office system)

Due to the age and condition of the existing office heating unit we would suggest a new gas-fired condensing furnace with factory supplied "A" coil for DX cooling. Furnace and DX coils shall be in Storage #104 with new associated 2-Ton condensing unit (CU-1) outdoors on new pad. Coordinate new pad with generator and DOAS locations. Provide refrigerant line between furnace and CU-1 as required. Provide new combination flue and combustion air intake up through roof for both furnace and domestic gas fire water heater. Note: (The use of existing generator size will depend upon the City's Emergency power requirements. For now, the existing Generator is to remain although location may change to allow Mechanical equipment installations).

Provide all associated refrigerant piping from pad-mounted CU-1 to new Furnace in Storage #104. Refrigerant suction piping shall be insulation with proper support and pitch. Exposed refrigerant insulation shall have aluminum covers to protect insulation from UV rays. Provide a pipe hide system down exterior wall near CU-1.

Air Distribution Systems

Supply Ductwork from DOAS shall serve each Kennel room. Diffusers shall be aluminum due to wet locations. There will be four diffusers per each kennel at roughly 200 CFM each. Each kennel return grilles shall have removable filter housings which can be serviced and changed out from kennel floor. Grill shall be similar to 350RLF1-1 14"x14" Surface mounted in each corner on the corridor side of the room @ 400 CFM each. Individual branch ducts serving each diffuser shall be 8" round unless otherwise noted. Each distribution ductwork shall have means of balancing each diffuser individually.

Building Automation System

Temperature control for the DOAS shall be through the Daikin controls. System shall control as one single zone. Return air sensor located in the common return duct shall provide room control setpoint. DOAS will be scheduled to run 24/7 with a wall mounted on/off switch located in Office #108. Office system shall be controlled by new associated wall thermostat located in Office 108.

Restroom #106 upgrades

Restroom exhaust is currently by an exhaust fan with ductwork leaving the building up through the roof. Although nothing is required here, we would recommend a new inline fan as manufactured by Soler & Palau, Model #PV-100X, designed to provide 150 CFM @ 1.5" static pressure. Existing toilet ductwork to be reused with proper transition above ceiling. Fan should be tied into new light switch for control. An additional timer switch could be added to allow fan to run for 5 minutes (adjustable) after occupancy.

PLUMBING

Plumbing Demolition

Existing Gas fire water heater is nearing the end of its useful life @12 years old. (Man. Date 4/7/2010) Heater can remain but should be considered for replacement. If nothing else tank should be moved and set inside containment with leak detection alarm and automatic water shut off in case leakage detected.

All gas piping to kennel Unit heater shall be removed back to mains with seal caps. Existing line exterior to the building serving the generator shall remain until new gas line is installed which will run in attic space. Once new line is installed, tested and completed, existing exterior line shall be removed.

Plumbing New work

New gas line from new meter shall be provided to new DOAS, Existing Generator, new Furnace and new or relocated gas water heater.

Provide Furnace with new condensate/condensing removal pump by Little Giant VCMA-15UL piped to Janitor's Closet.

Trench drains and plumbing lines to remain.

ELECTRICAL

Electrical Demolition

There will be limited electrical demolition work to support the HVAC portion of this project. Remove and make safe electrical feeds for Furnace removal and (3) unit heaters. Refer to HVAC demolition above for additional electrical scope of work.

Electrical New Scope

Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole on Vincent P. Kelly Road. Provide new exterior meter on right side of building entrance and extend electric service into building to a new 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103.

Disconnect and remove existing overhead electric service to existing panel "A" on left side of building entrance.

Provide a 60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A". All existing electrical loads currently served by Panel "A" shall remain in place and

operational, except as noted.

Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational.

Provide electric feed to DOAS unit located outside Office #108 window. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.

Provide new 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Refer to mechanical drawings for location. Provide unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.

Provide 120V GFI duplex outlet at DOAS/CU-1 pad for service.

Provide dedicated electrical circuit with local fused disconnect switch at new Furnace. Refer to HVAC drawings for location. Provide wall outlet for condensate pump.

Toilet exhaust fan shall use existing power circuit, occupancy sensor to be provided and installed to control bathroom lights with auxiliary contacts for new exhaust fan control.

PLUMBING/FIRE PROTECTION

Existing Plumbing and Demolition

There is limited plumbing demolition in this scope of work other than the removal of the trench drain piping supplies, Unit heaters gas piping, and misc. water serving trough drains. This is dependent on the architectural requirement so more adjustments will be made later. All Gas piping to Kennel Unit heaters shall be remove and brought back to the gas main and made safe.

New Plumbing Scope

Provide insulated condensate drain line from the new furnace and DX drain pan to and from the Little Giant pump locate in storage 104. Pumped condensate to be piped to janitor's sink with an indirect fitting.

Provide new gas meter sized for the renovated building new loads.

Provide new gas piping from meter to DOAS unit, Heating furnace, water heater and new generator as required. All gas piping shall be welded black Iron malleable fittings with all gas pipe painted yellow. Provide proper clevis hangers as required. Provide individual gas shut off as each piece of equipment served.

Existing Fire Protection and Demolition

There are no sprinklers in this building so no new work is anticipated.

New Fire Protection Scope

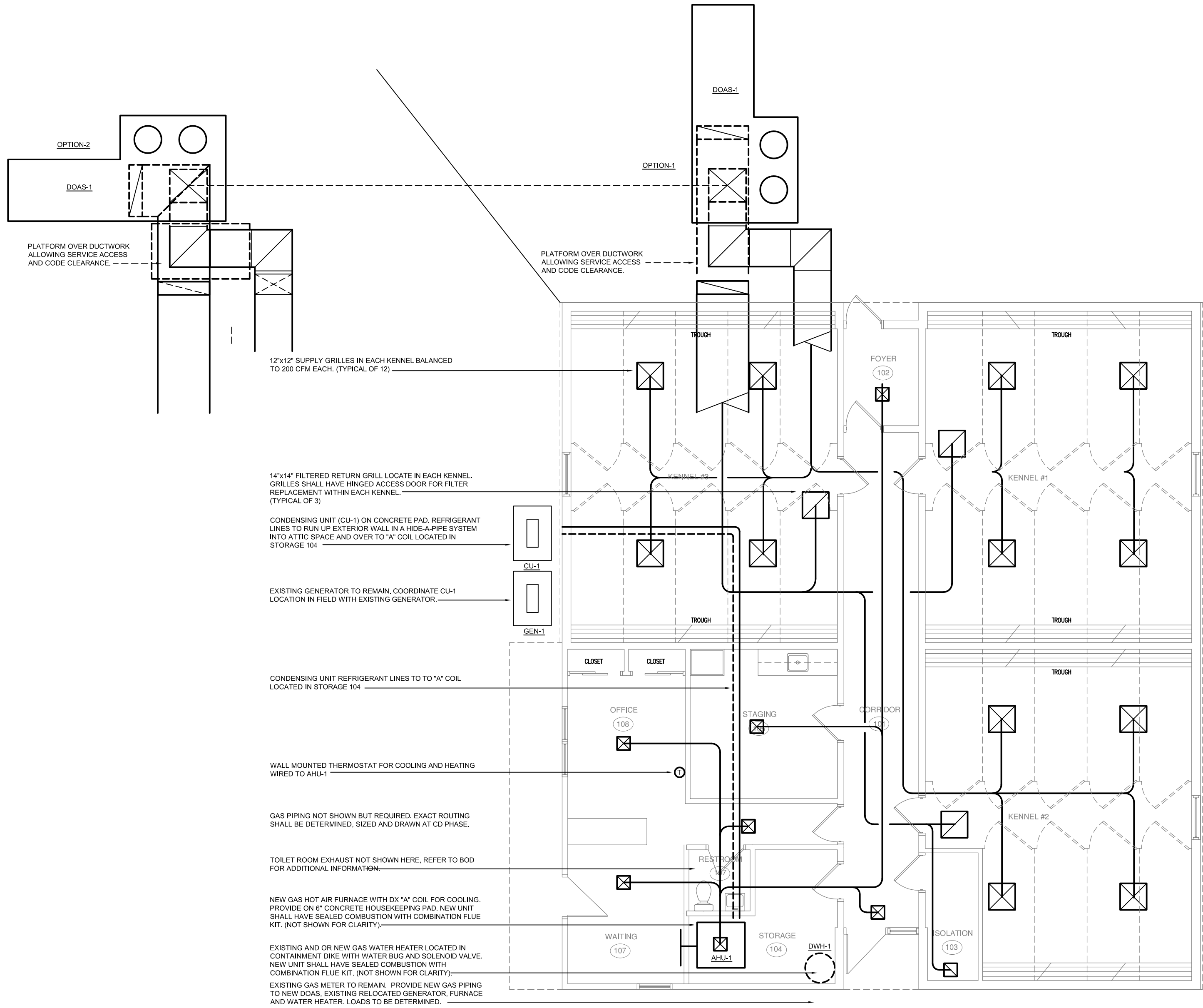
There are no sprinklers in this building so no new work is anticipated.

New Pad Requirements

Refer to architectural plans for details on structural pads for Generator, DOAS, and Condensing units. Exact locations to be determined.

---End of M.E.P. Schematic Design Narrative ---

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1 MECHANICAL NEW WORK PARTIAL PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION
MAY 27, 2022

CONSULTANTS:

PROJECT NAME:

**BRISTOL ANIMAL SHELTER
AIR CONDITIONING
MODIFICATIONS**
VINCENT P. KELLY ROAD
BRISTOL, CONNECTICUT

KEYPLAN



REVISIONS		
REV. NO.	DATE	DESCRIPTION

DRAWING TITLE:

**MECHANICAL
NEW WORK
FLOOR PLAN**

DATE: 05/27/22

DRAWN BY: REA

CHECKED BY: WJD

SCALE: 1/4"=1'-0"

PROJ #: 2021200.00

DRAWING NUMBER:

M101



Bristol Animal Facility MEP & Building Assessment

126 Vincent P Kelly Rd

Bristol, CT 06010

M.E.P. SCHEMATIC DESIGN NARRATIVE

(NEW BUILDING)

Prepared for:

Raymond Rogozinski
Director of Public Works
City of Bristol
Bristol, CT 06011

Date:

July 20, 2022

Prepared by:

van Zelm Heywood & Shadford, Inc
10 Talcott Notch Road
Farmington, CT 06032

van Zelm #2021200.00



I. Plumbing:

Domestic water is supplied through a city water service from Vincent P. Kelly Road. It will enter the new building enters the building at the Northeast corner of the sally port room where it is piped though a meter and associated backflow preventer racked on the wall. Piping at this point distributes throughout the building to various fixtures. A 1-1/4" cold water line will run to the 80 Gallon gas fired water heater located in the Electrical room. Domestic water heater shall have sealed combustion and flue to the exterior of the building. Additionally, a 1" insulated cold water line will distribute to the bathroom and kitchenette and decontamination fixtures. A 1" insulated Hot water line will also feed bathroom, kitchenette, and Decontamination fixtures. Hot water line will recirculate with a balance valve over the kitchenette ceiling. All fixtures shall have HW, CW, Waste, and Vent lines as required by code.

Animal holding pens are washed and drained by a trough located on each side of the pen with the 6" inlet at the end on the exterior side of the building. The outlet then extends outside to the site sanitary system. There will be a trench crossing support system over the trough which will be provided to allow dogs access to the exterior runs. This crossing ramp will be removable stainless-steel frame with anti-skid surface.

Two hot and cold-water mixing faucets with a hose attachment are provided for washing down the interior pens, one on each side. There are two additional exterior wash downs for the exterior pens. Isolation valves and vacuum breakers will be provided at each hose bibb faucet installations.

A new deep stainless steel counter type sink will be provided in decontamination room with HW, CW, Waste, and Vent as required by code.

The roof drainage on the flat roofs shall be provided with secondary scuppers. The other areas of the roof will have pitch to gutter downs spout systems.

Natural gas is provided to the building with the meter located outside adjacent to the sally port garage. Piping from the meter extends into the building and up through the roof serving two roof top units, RTU-1&2. The gas line also serves a unit heater located in the sally port garage. This gas also extends from the meter to the electrical room domestic water heater and the radiant boiler. Actual gas capacities and pressure requirements will be coordinated with local Gas Company.
(Note: Gas dryer is optional)

II. Fire Protection Systems:

The facility is not being equipped with automatic sprinkler system nor is it required to by code.

III. Mechanical Systems:

The facility will be served by two new RTU's. RTU-1 will be a 4-ton gas fired burner with DX packaged cooling. Unit will serve the offices and associated support areas. It will be a constant speed heating and cooling unit with outside air economizer. Wall mounted thermostat shall control temperature, schedule, and night set-back. Sensor shall be in office on interior wall. Minimum outdoor air is provided to the building through the RTU-1.

Toilet rooms shall have inline exhaust fans tied into wall light switch for control. Exhaust shall be ducted to the building exterior with a gravity back-draft damper. The clothes dryer exhaust air will discharge directly outside the building.

RTU-2 shall serve the animal areas and provide 100% outdoor air 24/7. Separate supply and exhaust direct drive fans shall run together while the modulating gas burner heats the air for winter operation. Packaged DX cooling and cooling coils are also fitted with refrigerant hot gas reheat coils for summer dehumidification. A wall thermostat shall control temperature, humidity, and schedule should kennel occupancy allow. The air-to-air plate heat exchanger located in RTU-2, shall be used to recapture wasted energy by pre-heating and pre-cooling the outside air prior to exhausting the contaminated air. Supply and exhaust air streams do not mix, thus, 100% of the outside air is exhausted not recirculated. RTU-2 shall be a nominal 25 Ton unit, approximately 4,550 CFM. Additional return air filters in the animal area spaces shall be provided in addition to within the air handling units. D.P. with monitoring filters in RTU-2 to provide clogged filter status.

Ductwork in the kennel areas and in places of high exposed ceilings shall have exposed oval or round distribution Primed and painted flat black.

All ductwork in non-conditions spaces shall be insulated.
Exposed ductwork in conditioned spaces do not require insulation.

In addition to the air systems, slab heating for the dog kennels is provided by running warm water under the slabs where the dogs lay. There will be a sensor and interlocking controls, so RTU-2 works with the radiant heating so minimal simultaneous heating and cooling is done. The Tek-Mar controller shall maintain a low loop temperatures and control burner fire to not overheat under slab tubing and or concrete slab.

A gas fired wall mounted condensing boiler serving the radiant floor system with associated pumps shall be in the electrical room as well. Boiler shall have sealed combustion and flues to the exterior of the building.

The new systems and components have updated electronic controls but there are no plans for BMS automation in the new Dog Pound facility.

Hydronic Fin-Tube radiation shall be provided at entry ways and below large glass walls to wash the glass within exterior spaces piped to radiant boiler.

IV. Electrical Systems:

Main Electric Service: There will be a new electrical room which shall house two new electrical panels as well as the emergency transfer switch from the new exterior gas generator. The service runs overhead from the utility pole to a meter and switch in the rear of the building. The generator is also situated behind the sally port garage on the backside of the facility. The switch is rated at 240V, 3 pole, 200 amps for a 120/208V, 3 phase service. This new service shall serve the entire building.

Normal Lighting Systems: All the lighting fixtures in the facility are 120V LED lights with several selected for wet service locations due to wash down areas. The fixtures shall be surface and or ceiling grid mounted.

Lighting controls shall be occupancy sensors in the offices and support areas while the kennels shall have manual wall switches

Emergency Lighting Systems: Several lights shall be wired onto the emergency generator circuits as well as new facility exit signs.

Power Receptacles and Telephone/Data Systems: The facility shall be provided with the code required receptacles at a minimum. All required devices shall be properly grounded and ground fault protection devices installed per the current code.

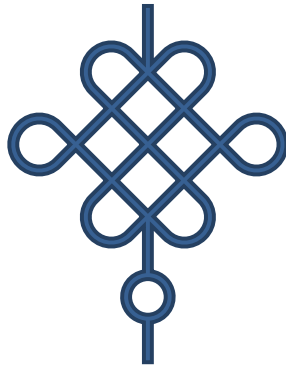
The telephone devices will be provided with Data as required.

V. Fire Alarm System:

Provide a small supervised and zone type ADA compliant fire alarm system. The system shall include manual pull stations at each exterior egress door, smoke detectors in both normally occupied and unoccupied areas, heat detectors in mechanical equipment spaces, and audio/visual annunciation devices throughout the facility and dial out modem for third party monitoring.

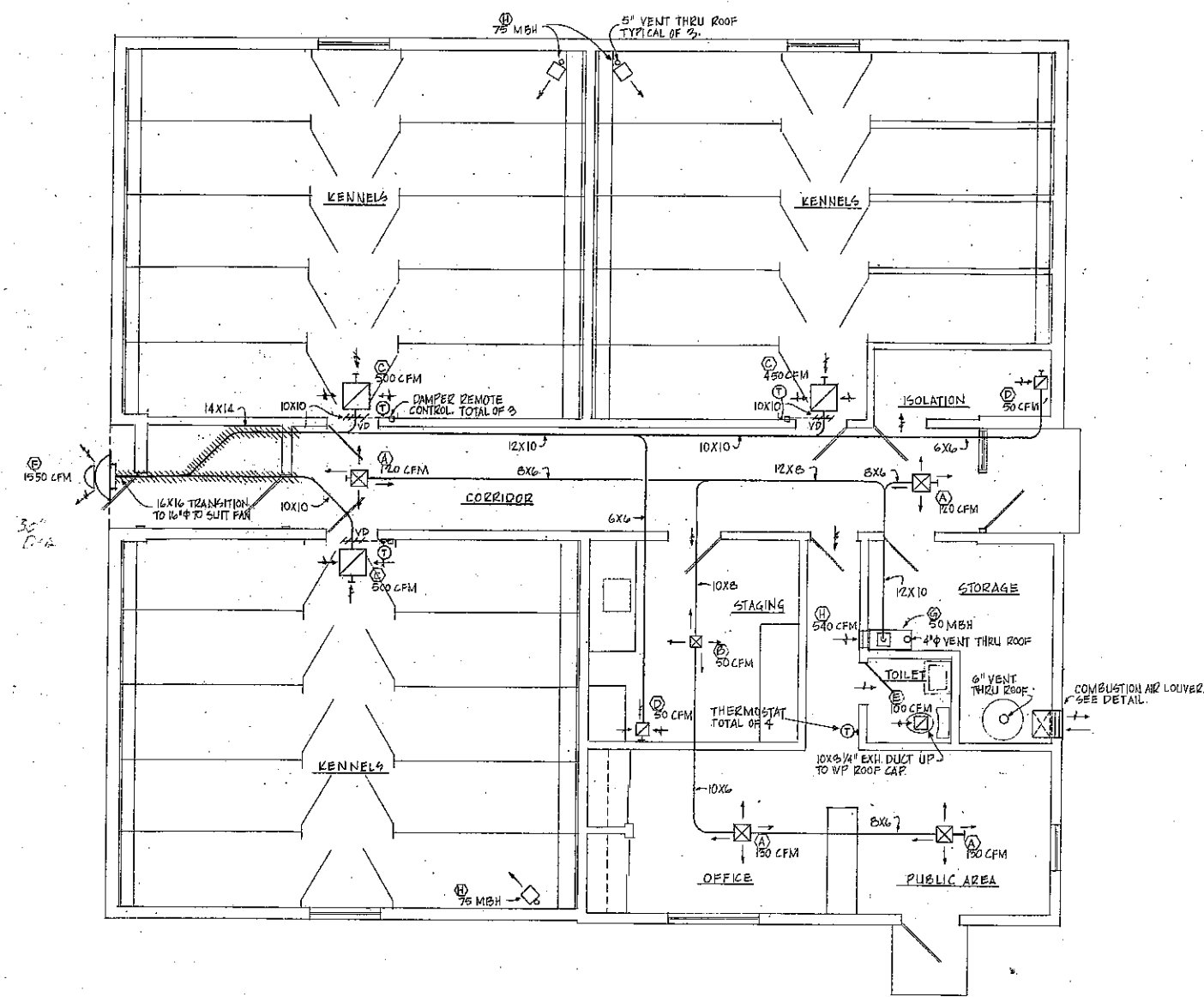
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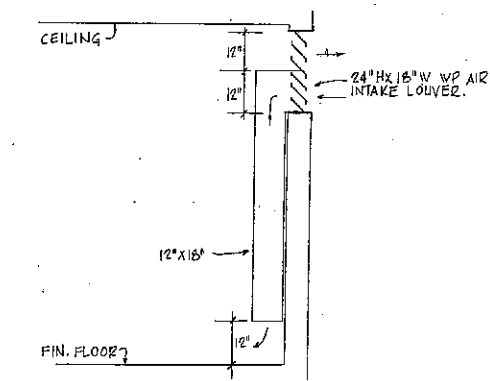
Appendix D

Existing Building HVAC Drawings



FLOOR PLAN
SCALE 1/4" = 1'-0"

EQUIPMENT SCHEDULE	
(A)	CEILING DIFFUSER TUTTLE & BAILEY ME TYPE 4 9"X9" W/VOL. DAMPR.
(B)	" " " " " 6"X6" " "
(C)	CEILING RA GRILLE " " TYPE T80 18"X18" W/ *3000 CONTROL & *VL-7 DAMPER
(D)	" " " " " 6"X12" " "
(E)	CEILING EXHAUST FAN PENN *Z-60 100CFM @ 1/2"SP. W/ 6L-10 ROOF CAP
(F)	WALL MOUNT EXHAUST FAN PENN *WVQ-40 26 SPEED - 1850 # 1045 CFM @ 1/4"SP W/ BACKDRAFT DAMPR
(G)	GAS FIRED FURNACE CARRIER *58GC050 50MBH INPUT, 540 CFM @ 1/4"SP.
(H)	RA GRILLE AT FLR TUTTLE & BAILEY T80 10"X12" W. PROVIDE 12"X28"X10" H PLENUM BASE FOR FURNACE.



LOUVER DETAIL
NO SCALE

SYMBOLS	
	Supply or fresh air duct crosssection
	Return or exhaust air duct crosssection
	Duct with acoustical lining
	Direction of supply or fresh air flow
	Direction of return or exhaust air flow
	Flexible duct connector
CFM	Cubic feet per minute
FA	Fresh air
REG	Register
SUP	Supply
RET	Return
VD	Volume damper

HEATING & VENTILATING PLAN

DATE: 10-29-76
DATE REV:

DIV. BY: CHAD. BY: SCALE: AS NOTED

DAVID BUTTS ASSOCIATES ARCHITECT
108 PARKVIEW AVE. BRISTOL, CT.

Dog Pound for the City of Bristol

VINCENT R. KELLY, JR. BRISTOL, CT.



Department of Public Works | 860.584.6125

MEMORANDUM

DATE: August 13, 2026

TO: Lindsey Rivers, Animal Control Building Committee Chair

FROM: Raymond A. Rogozinski, P.E., Director of Public Works

RE: New Animal Control Facility – Cost Estimate Review and Recommendation to Proceed/ Prepare & Issue an RFP to Procure a Design & Build Firm

The Department of Public Works (DPW) retained KEHES Group, LTD to prepare a cost estimate for a new Animal Control facility on Vincent P. Kelly Road, across from the DPW Operations Facility. The July 28, 2026 estimate identifies a total design & construction cost of \$4,133,116, including architectural services, design, construction, specialized equipment, escalation, and contingencies. DPW generally concurs with the estimate; however, the contingency allowances appear low given the current stage of project development. The available project budget is \$4,404,475, providing approximately \$271,359 above the current estimate. DPW therefore recommends the following action for the Committee's approval:

Approve proceeding with design and construction of a new Animal Control facility on Vincent P. Kelly Road. The proposed facility shall consist of a new building with an area of approximately 5,024 square feet and include 30 primary animal enclosures, 30 exercise runs, animal isolation areas, a garage, a cat kennel room, an exotic animal room, and supporting operational spaces identified in the DPW Engineering facility assessment.

Said approval shall authorize use of a design-build delivery method. DPW will prepare a Request for Proposals and coordinate with the City Purchasing Department to procure a single qualified firm responsible for architectural & engineering services along with construction of a new building. The project scope shall include City land-use approval (Zoning Commission or Planning Commission). The project shall also include the mechanical and ventilation systems necessary for animal housing and operations, including air conditioning.

Enclosed are the estimate prepared by KEHES Group, LTD and the building space assessment prepared by the DPW Engineering Department.

Architectural work completed to date will be made available to the selected design-build firm. DPW recommends design-build to expedite the schedule, establish a single point of responsibility, and support value engineering and cost control throughout project development.

The estimate includes a 9 percent escalation allowance based on construction commencing within 24 months. Delays beyond the period will increase project cost.

Please contact me at 860-584-6113 with any questions or if additional information is required.

Engineering Assessment	
Function	Square Footage
30 Primary Enclosures (16 sq ft)	480
30 Exercise Runs (4' x 8')	960
5 Isolation Areas	INCLUDED ABOVE
Waiting Area (10' x 12')	120
Public Restroom (6' x 7.5')	45
Animal Control Office (10' x 12')	120
Storage (10' x 12')	120
Corridors	900
Bathing Area (10' x 14')	140
Garage (15' x 24')	360
Cat Kennel Room (10' x 15')	150
Private Restroom/Locker Room (9' x 13.5')	121.5
Wash Room (10' x 12')	120
Additional Storage (8' x 12')	96
Exotic Animals Room (10' x 10')	100
Freezer Closet (3' x 10')	30
Mechanical Room (8' x 10')	80
Electrical Room (8' x 10')	80
Maintenance Workroom (7' x 12')	84
Sprinkler Room (8' x 10')	80
SUBTOTAL NET PROGRAMMED AREAS	4186.5
External Walls, Interior Partitions, & Circulation @ 20%	837.3
TOTAL	5023.8

7/28/2026

KEHES GROUP, LTD

**Bristol Animal Control
Bristol, CT**

Conceptual Estimate

New Facility / New Location

BUILDING AREA		5,024	GSF	
Description	Sub-Total	Total	\$/SF	% of Total
31 0000 SITE WORK		561,900	111.84	13.60%
310500 Demolition	34,760			
312000 Site preparation	27,525			
313000 Earthwork	187,824			
315000 Utility Services	115,000			
318000 Site Improvements and Amenities	193,792			
319500 Site Restoration and Rehabilitation	3,000			
03 3000 CONCRETE		268,285	53.40	6.49%
031000 Concrete Forms and Accessories	3,000			
033000 Cast - In - Place Concrete (Foundation)	265,285			
033000 Cast - In - Place Concrete (Super Structure)	-			
04 0000 MASONRY		-	-	0.00%
042000 Masonry Units	-			
049000 Masonry Restoration and Cleaning	-			
05 0000 METAL		6,500	1.29	0.16%
051000 Structural Steel	-			
052000 Metal Joists	-			
053000 Metal Deck	-			
055000 Metal Fabrications	6,500			
058000 Expansion Control	-			
06 0000 WOOD & PLASTICS		121,718	24.23	2.94%
061000 Rough Carpentry	60,960			
062000 Finish Carpentry	8,758			
064000 Architectural Woodwork	52,000			
07 0000 THERMAL & MOISTURE PROTECTION		32,038	6.38	0.78%
071000 Dampproofing and Waterproofing	-			
072000 Thermal Protection	9,600			
073000 Siding Systems	-			
075000 Roofing	14,400			
076000 Flashing and Sheet Metal	-			
077000 Roof specialties and accessories	-			
078000 Fire and Smoke Protection	4,019			
079000 Joint sealers	4,019			
08 0000 DOORS & WINDOWS		84,690	16.86	2.05%
081000 Metal Doors and Frames	43,600			
082000 Wood and Plastic Doors	-			
083000 Specialty Doors	18,700			
084000 Entrances and Storefronts	4,600			
008500 Windows	16,800			
088000 Glazing	990			
09 0000 FINISHES		182,086	36.24	4.41%
092000 Plaster and Gypsum Board	130,360			
093000 Tile	3,260			

7/28/2026

KEHES GROUP, LTD

**Bristol Animal Control
Bristol, CT**

Conceptual Estimate

New Facility / New Location

BUILDING AREA		5,024	GSF	
Description	Sub-Total	Total	\$/SF	% of Total
095000 Ceilings	-			
096000 Flooring	20,102			
097000 Wall Finishes	-			
098000 Acoustical Treatment	-			
099000 Paints and Coatings	28,363			
10 0000 SPECIALTIES		21,579	4.30	0.52%
101000 Compartments and Cubicles	-			
102600 Identifying devices	4,019			
102700 Lockers	4,000			
105220 Postal equipment	-			
108000 Bathroom & toilet accessories	1,860			
108800 Fire Protection Specialties	4,500			
109900 Miscellaneous Specialties	7,200			
11 0000 EQUIPMENT		373,920	74.43	9.05%
113100 Miscellaneous Equipment	373,920			
12 0000 FURNISHING		103,000	20.50	2.49%
124000 Furnishings and Accessories	103,000			
13 0000 SPECIAL CONSTRUCTION		316,320	62.96	7.65%
13120 Special Construction	316,320			
14 0000 CONVEYING SYSTEM		-	-	0.00%
142000 Elevators	-			
21 0000 MECHANICAL - FIRE PROTECTION		45,100	8.98	1.09%
213100 Fire protection piping	24,500			
213200 Fire pumps	12,000			
213300 Wet pipe sprinkler system	8,600			
213350 Dry pipe sprinkler system	-			
22 0000 MECHANICAL - PLUMBING		199,013	39.61	4.82%
224100 Plumbing piping	148,613			
224300 Plumbing specialties	18,500			
224400 Plumbing fixtures	22,400			
224500 Plumbing equipment	3,500			
224750 Pool & fountain equipment	-			
224800 Special systems	6,000			
23 0000 MECHANICAL - HVAC		299,655	59.64	7.25%
235100 Hydronic & refrigerant piping	-			
235500 Heat generation	-			
236500 Refrigeration	65,900			
237500 Heat transfer	-			
238500 Air handling	103,475			
238800 Air distribution	98,780			
239500 Controls	21,500			
239900 Testing & balancing	10,000			

7/28/2026

KEHES GROUP, LTD

**Bristol Animal Control
Bristol, CT**

Conceptual Estimate

New Facility / New Location

BUILDING AREA		5,024		GSF	
Description	Sub-Total	Total	\$/SF	% of Total	
26 0000 ELECTRICAL		280,100	55.75	6.78%	
262000 Power generation	70,000				
263000 Medium voltage distribution	14,067				
264000 Service & distribution	22,245				
265000 Lighting	49,792				
266000 Special systems	114,496				
267000 Communication	3,000				
268500 Electric resistance heating	-				
269000 Controls	-				
269500 Testing	6,500				
SUBTOTAL DIRECT COST	\$ 2,895,905	\$ 2,895,905	\$ 576	70.07%	
Design Contingency	20.0%	120,501	23.99	2.92%	
Escalation - 24 months	9.0%	59,648	11.87	1.44%	
General Conditions		198,000	39.41	4.79%	
General Requirements		90,000	17.91	2.18%	
General Liability Insurance	1.4%	\$ 47,096.76	9.37	1.14%	
Building Permit - By Owner	0.0%	-	-	0.00%	
State Education Fund	0.026%	887	0.18	0.02%	
CM Payment & Performance Bond (Subguard)	0.8%	27,296	5.43	0.66%	
CM Fee	5.00%	171,967	34.23	4.16%	
Architectural Design Fee - Placeholder		100,000	19.90	2.42%	
MEP/FP Design Fee - Placeholder		75,000	14.93	1.81%	
Site/Civil Design Fee - Placeholder		75,000	14.93	1.81%	
Structural Design Fee - Placeholder		75,000	14.93	1.81%	
TOTAL DIRECT COST		\$ 3,936,301	\$ 783	95.24%	
Construction Contingency (by Owner)	5.0%	196,815	39.17	4.76%	
TOTAL CONSTRUCTION COST		\$ 4,133,116	\$ 823	100.00%	

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
31 0000 SITE WORK					
310500 Demolition					
Demo Existing Structure in its Entirety	2,355	SF	12.00	28,260	
Restore Site	1	LS	6,500.00	6,500	
Demolition					34,760
312000 Site preparation					
Construction Entrance	1,400	SF	2.00	2,800	
Silt Fence	500	LF	1.85	925	
Anti-Tracking Pad	800	SF	4.00	3,200	
Street Cleaning	1	LS	2,500.00	2,500	
Traffic Control/signage	1	LS	2,000.00	2,000	
Site Cleanup	1	LS	2,500.00	2,500	
Temporary construction barrier	400	LF	14.00	5,600	
Topsoil Stockpile Area	2,000	SF	4.00	8,000	
Site preparation					27,525
313000 Earthwork					
Excavation/backfill at new underground utility lines	667	CY	65.00	43,333	
Excavation/backfill at new foundations	178	CY	50.00	8,889	
Bulk building excavation	10,048	CY	8.50	85,408	
Proof-rolling at slab	8,344	SF	2.00	16,688	
Furnish & spread gravel base / Fine Grading at Slab	8,344	SF	2.10	17,522	
Furnish & spread gravel base / Fine Grading at pavement areas	5,950	SF	2.10	12,494	
Additional 6" crushed stone at interior slab	116	CY	30.00	3,489	
Earthwork					187,824
315000 Utility Services					
New Utilities Allowance - Electric	1	LS	30,000.00	30,000	
New Utilities Allowance - Water	1	LS	20,000.00	20,000	
New Utilities Allowance - Sanitary	1	LS	20,000.00	20,000	
New Utilities Allowance - Storm	1	LS	20,000.00	20,000	
New Utilities Allowance - Gas	1	LS	25,000.00	25,000	
Utility Services					115,000
318000 Site Improvements and Amenities					
Lawn / Sod Areas	20,096	SF	1.00	20,096	
Plantings	1	LS	4,000.00	4,000	
Tree (Large)	1	EA	1,600.00	1,600	
Tree (Small)	3	EA	1,200.00	3,600	
New 1/2 Crushed Stone Bed w/4" Perimeter Perforated Drain to Storm; Lower Grade 10" below Current Grade / Top of Foundation Wall	300	LF	50.00	15,000	
New Exterior Chain Link @ Kennels	100	LF	18.00	1,800	
Outdoor Exercise Yard Fencing	1	LS	40,000.00	40,000	
Bituminous Asphalt Paving at Parking Spaces	4,340	SF	7.00	30,383	
Bituminous Asphalt Paving to Garage	1,964	SF	7.00	13,750	
Parking Lot Line Striping (Spaces & HC Cross Hatching)	686	LF	5.00	3,430	
Curb	1,237	LF	45.00	55,656	
Ground Planter (Large)	75	SF	45.00	3,369	
Ground Planter (Small)	25	SF	45.00	1,107	
Site Improvements and Amenities					193,792

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF	
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
<u>319500</u> <u>Site Restoration and Rehabilitation</u>						
Misc Site Restoration Allowance	1	LS	3,000.00	3,000		
Site Restoration and Rehabilitation						3,000
SUBTOTAL SITE WORK						561,900
<u>03 3000</u> <u>CONCRETE</u>						
<u>031000</u> <u>Concrete Forms and Accessories</u>						
Misc. MEP housekeeping pads	1	LS	3,000.00	3,000		
Concrete Forms and Accessories						3,000
<u>033000</u> <u>Cast - In - Place Concrete (Foundation)</u>						
Continuous Spread Footing - 3'-0" W x 1'-0" H	300.00	LF				
Formwork (2-sided)	600.00	SF	16.00	9,600		
Rebar - 100# / CY	1.83	TON	1,875.00	3,438		
Concrete - material	36.67	CY	110.00	4,033		
Concrete - place	36.67	CY	100.00	3,667		
Frost Walls - 1'-0" W x 4'-0" H	300.00	LF		-		
Formwork (2-sided)	2,400.00	SF	15.00	36,000		
Rebar - 75# / CY	3.67	TON	1,875.00	6,875		
Concrete - material	97.78	CY	110.00	10,756		
Concrete - place	97.78	CY	100.00	9,778		
Pump time - General	1.00	DAYS	1,200.00	1,200		
New Slab on Grade	5,024	SF				
Concrete materials (5" thickness)	85.28	CY	110.00	9,381		
Edge form	1,217.00	LF	12.00	14,604		
Place Concrete	5,024.00	SF	6.00	30,144		
Trowel Finish Concrete	5,024.00	SF	1.00	5,024		
#4 bar reinforcing at 12" OC each way	5,024.00	SF	6.00	30,144		
Cure and Seal	5,024.00	SF	0.50	2,512		
15 mil vapor barrier under slabs	5,024.00	SF	1.00	5,024		
Pump	1.00	DAYS	1,200.00	1,200		
New Exterior Slab on Grade	3,000	SF				
Concrete materials (5" thickness)	50.93	CY	110.00	5,602		
Edge form	1,217.00	LF	12.00	14,604		
Place Concrete	3,000.00	SF	6.00	18,000		
Trowel Finish Concrete	3,000.00	SF	1.00	3,000		
#4 bar reinforcing at 12" OC each way	3,000.00	SF	6.00	18,000		
Cure and Seal	3,000.00	SF	0.50	1,500		
15 mil vapor barrier under slabs	3,000.00	SF	1.00	3,000		
Pump	1.00	DAYS	1,200.00	1,200		
Slab Trough @ Kennel Areas	120.00	LF	25.00	3,000		
Exterior Concrete Pad for new DOAS Unit	240.00	SF	25.00	6,000		
Exterior Concrete Pad for Generator	80.00	SF	25.00	2,000		
Exterior Sidewalks H/C Ramp Transitions	2.00	LS	3,000.00	6,000		
Cast - In - Place Concrete (Foundation)						265,285
<u>033000</u> <u>Cast - In - Place Concrete (Super Structure)</u>						
NONE						
Cast - In - Place Concrete (Super Structure)						-
SUBTOTAL CONCRETE						268,285

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

04 0000 MASONRY042000 Masonry Units
NONE

Masonry Units

-

049000 Masonry Restoration and Cleaning
NONE

Masonry Restoration and Cleaning

-

SUBTOTAL MASONRY

-

05 0000 METAL051000 Structural Steel
Structural Framing w/13120 - Pre-Engineered Metal Building
Structure

Structural Steel

-

052000 Metal Joists
Structural Framing w/13120 - Pre-Engineered Metal Building
Structure

Metal Joists

-

053000 Metal Deck
Structural Framing w/13120 - Pre-Engineered Metal Building
Structure

Metal Deck

-

055000 Metal Fabrications
Misc Equip Supports

1.00 LS 6,500.00 6,500

Metal Fabrications

6,500

058000 Expansion Control
NONE

Expansion Control

-

SUBTOTAL METAL

6,500

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
06 0000 WOOD & PLASTICS					
061000 Rough Carpentry					
Structural Framing w/13120 - Pre-Engineered Metal Building Structure					
Roof Blocking/fasteners	5,024	LF	4.25	21,352	
Lift rental	1	LS	10,000.00	10,000	
Misc. general hardware, fasteners	5,024	SF	3.50	17,584	
Rough Carpentry - misc. blocking, etc.	5,024	SF	1.00	5,024	
Temp Protection Allowance	1	LS	2,000.00	2,000	
Safety & Maintenance	1	LS	5,000.00	5,000	
Rough Carpentry					60,960
062000 Finish Carpentry					
Running Trim/mouldings	5,024	SF	1.60	8,038	
Window Sills	24.00	LF	30.00	720	
Finish Carpentry					8,758
064000 Architectural Woodwork					
Base & Upper Cab's Throughout	7.00	LS	5,000.00	35,000	
Countertops at Base Cabinets	7.00	LS	1,000.00	7,000	
New Desk/Work Surface at Office/Waiting	1.00	LS	10,000.00	10,000	
Architectural Woodwork					52,000
SUBTOTAL WOOD & PLASTICS					121,718
07 0000 THERMAL & MOISTURE PROTECTION					
071000 Dampproofing and Waterproofing					
NONE					
Dampproofing and Waterproofing					-
072000 Thermal Protection					
Foundation Insulation	1,200	SF	8.00	9,600	
Thermal Protection					9,600
073000 Siding Systems					
w/13120 - Pre-Engineered Metal Building Structure					
Siding Systems					-
075000 Roofing					
Gutters	200.00	LF	24.00	4,800	
Downspouts	8.00	EA	1,200.00	9,600	
Roofing					14,400
076000 Flashing and Sheet Metal					
NONE					
Flashing and Sheet Metal					-

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF	
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS	
<u>077000</u> <u>Roof specialties and accessories</u> w/13120 - Pre-Engineered Metal Building Structure						
Roof specialties and accessories						-
<u>078000</u> <u>Fire and Smoke Protection</u> Firestopping	5,024	SF	0.80	4,019		
Fire and Smoke Protection						4,019
<u>079000</u> <u>Joint sealers</u> Misc. caulking, sealant and fire safing	5,024	SF	0.80	4,019		
Joint sealers						4,019
SUBTOTAL THERMAL & MOISTURE PROTECTION						32,038
<u>08 0000</u> <u>DOORS & WINDOWS</u>						
<u>081000</u> <u>Metal Doors and Frames</u> Exterior Door, Frame & HW - Single	2	EA	2,400.00	4,800		
Interior Door, Frame & HW - Single	14	EA	2,200.00	30,800		
Interior Door, Frame & HW - Pair	2	EA	4,000.00	8,000		
Metal Doors and Frames						43,600
<u>082000</u> <u>Wood and Plastic Doors</u> w/081000						
Wood and Plastic Doors						-
<u>083000</u> <u>Specialty Doors</u> Allowance for access doors	1	LS	1,200.00	1,200		
New Dog Pass Door	30	EA	250.00	7,500		
Garage Door / OHD	1	LS	10,000.00	10,000		
Specialty Doors						18,700
<u>084000</u> <u>Entrances and Storefronts</u> Storefront Door Pair at Main Entry	1	EA	4,600.00	4,600		
Entrances and Storefronts						4,600
<u>008500</u> <u>Windows</u> Fiberglass Window	12	EA	1,400.00	16,800		
Windows						16,800
<u>088000</u> <u>Glazing</u> Bathroom Mirrors, installed (2'x3')	3	EA	330.00	990		
Glazing						990
SUBTOTAL DOORS & WINDOWS						84,690

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

09 0000 FINISHES**092000 Plaster and Gypsum Board**

New 5/8" Gypsum Board Ceiling All Areas (Washable at Animal Areas)	5,000	SF	14.00	70,000	
New Interior Walls	3,353	SF	18.00	60,360	
Plaster and Gypsum Board					130,360

093000 Tile

New Tile Flooring at Restroom & Locker/Private Restroom	90	SF	24.00	2,160	
New Tile Base at Restroom & Locker/Private Restroom	50	LF	22.00	1,100	
Tile					3,260

095000 Ceilings

NONE					
Ceilings					-

096000 Flooring

30 Primary Enclosures (16 sq ft) - Sealed Concrete	480	SF	3.00	1,440	
30 Exercise Runs (4' x 8') - Sealed Concrete	960	SF	3.00	2,880	
5 Isolation Areas - Sealed Concrete					
Waiting Area (10' x 12') - Sealed Concrete	120	SF	3.00	360	
Public Restroom (6' x 7.5') - Sealed Concrete	45	SF	3.00	135	
Animal Control Office (10' x 12') - Sealed Concrete	120	SF	3.00	360	
Storage (10' x 12') - Sealed Concrete	120	SF	3.00	360	
Corridors - Sealed Concrete	900	SF	3.00	2,700	
Bathing Area (10' x 14') - Sealed Concrete	140	SF	3.00	420	
Garage (15' x 24') - Sealed Concrete	360	SF	3.00	1,080	
Cat Kennel Room (10' x 15') - Sealed Concrete	150	SF	3.00	450	
Private Restroom/Locker Room (9' x 13.5') - Rubber	77	SF	18.00	1,377	
Wash Room (10' x 12') - Sealed Concrete	120	SF	3.00	360	
Additional Storage (8' x 12') - Sealed Concrete	96	SF	3.00	288	
Exotic Animals Room (10' x 10') - Sealed Concrete	100	SF	3.00	300	
Freezer Closet (3' x 10') - Sealed Concrete	30	SF	3.00	90	
Mechanical Room (8' x 10') - Sealed Concrete	80	SF	3.00	240	
Electrical Room (8' x 10') - Sealed Concrete	80	SF	3.00	240	
Maintenance Workroom (7' x 12') - Sealed Concrete	84	SF	3.00	252	
Sprinkler Room (8' x 10') - Sealed Concrete	80	SF	3.00	240	
Circulation - Sealed Concrete	710	SF	3.00	2,130	
Office - Resilient/Carpet	120	SF	10.00	1,200	Change to SC
Walk-off Mats	4	EA	800.00	3,200	
Flooring					20,102

097000 Wall Finishes

NONE					
Wall Finishes					-

098000 Acoustical Treatment

NONE					
Acoustical Treatment					-

7/28/2022

KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			5,024	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>099000</u>	<u>Paints and Coatings</u>					
	New Interior Partitions	6,707	SF	2.00	13,413	
	GWB Ceilings	5,000	SF	2.00	10,000	
	Paint Door Leafs & Frames	18	EA	275.00	4,950	
	Paints and Coatings					28,363
	SUBTOTAL FINISHES					182,086
<u>10 0000</u>	<u>SPECIALTIES</u>					
<u>101000</u>	<u>Compartments and Cubicles</u>					
	NONE					
	Compartments and Cubicles					-
<u>102600</u>	<u>Identifying devices</u>					
	Interior Wayfinding & Room Signage	5,024.00	GSF	0.80	4,019	
	Identifying devices					4,019
<u>102700</u>	<u>Lockers</u>					
	Locker / Storage Cabinet Allowance	1	AL	4,000.00	4,000	
	Lockers					4,000
<u>105220</u>	<u>Postal equipment</u>					
	NONE					
	Postal equipment					-
<u>108000</u>	<u>Bathroom & toilet accessories</u>					
	H/C Grab Bars	4	EA	165.00	660	
	Soap dispensers, installed	2	EA	55.00	110	
	Paper Towel Dispensers	2	EA	300.00	600	
	Toilet paper Dispenser, installed	2	EA	85.00	170	
	Waste receptacles, installed	2	EA	160.00	320	
	Bathroom & toilet accessories					1,860
<u>108800</u>	<u>Fire Protection Specialties</u>					
	FEC's - surface mounted	10	EA	450.00	4,500	
	Fire Protection Specialties					4,500
<u>109900</u>	<u>Miscellaneous Specialties</u>					
	Marker Boards/White Boards	6	EA	1,200.00	7,200	
	Miscellaneous Specialties					7,200
	SUBTOTAL SPECIALTIES					21,579

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

11 0000 EQUIPMENT**113100 Miscellaneous Equipment**

Reach-In Refrigerator - Medicines, etc.	1	EA	6,000.00	6,000	
Reach-In Refrigerator for Staff	1	EA	3,800.00	3,800	
New Interior Chain Link @ Kennels	660	LF	22.00	14,520	
New Interior Chain Link Gate @ Kennels	60	EA	400.00	24,000	
Cat Condominiums	20	EA	2,000.00	40,000	
Small Dog Condominiums	20	EA	2,000.00	40,000	
Feeding/Watering System	1	LS	8,000.00	8,000	
Kennel Accessories/Signage	1	LS	5,000.00	5,000	

Veterinary & Animal Care Equipment

Veterinary exam table	2	EA	4,000.00	8,000	
Treatment table	1	EA	3,500.00	3,500	
Animal scales	2	EA	1,500.00	3,000	
Medical refrigerator	1	EA	2,500.00	2,500	
Lockable drug storage	1	EA	2,500.00	2,500	
IV stands and medical equipment	1	LS	2,000.00	2,000	
Procedure lighting	1	LS	6,000.00	6,000	
Surgical/procedure equipment allowance	1	LS	20,000.00	20,000	
Recovery cages	4	EA	2,500.00	10,000	
Medical storage cabinets	1	LS	5,000.00	5,000	
Installation Labor	1	LS	5,000.00	5,000	

Animal Intake & Processing

Transport cages	10	EA	500.00	5,000	
Humane traps	10	EA	250.00	2,500	
Catch poles	6	EA	300.00	1,800	
Capture nets	4	EA	500.00	2,000	
Intake workstation	2	EA	3,000.00	6,000	
Microchip scanners	2	EA	400.00	800	
Photography/documentation station	1	EA	2,500.00	2,500	
Secure evidence lockers	1	LS	10,000.00	10,000	

Animal Control Operations Equipment

Vehicle kennel inserts	3	EA	8,000.00	24,000	
Officer PPE equipment	6	EA	1,000.00	6,000	
Rescue kits	3	EA	2,500.00	7,500	
Portable animal carriers	20	EA	150.00	3,000	
Emergency response equipment	1	LS	10,000.00	10,000	

Laundry & Sanitation Equipment

Commercial washer	2	EA	8,000.00	16,000	
Commercial dryer	2	EA	7,500.00	15,000	
Laundry carts	4	EA	500.00	2,000	
Storage shelving	1	LS	3,000.00	3,000	
Utility sinks	2	EA	1,500.00	3,000	
Chemical dispensing station	1	EA	5,000.00	5,000	
Pressure washer	1	EA	2,500.00	2,500	
Wet vacuum	2	EA	1,000.00	2,000	
Automated floor scrubber	1	EA	8,500.00	8,500	

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

Food Preparation & Storage

Stainless prep tables	2	EA	1,500.00	3,000	
Commercial sink	1	EA	3,000.00	3,000	
Feed storage bins	1	LS	5,000.00	5,000	
Refrigerator/freezer	2	EA	3,500.00	7,000	
Storage shelving	1	LS	3,000.00	3,000	
Feeding carts	4	EA	1,500.00	6,000	

Miscellaneous Equipment 373,920

SUBTOTAL EQUIPMENT 373,920

12 0000 FURNISHING**124000 Furnishings and Accessories**

Misc. Office Furniture - Allowance	1	LS	15,000.00	15,000	
Waiting Area Furniture - Allowance	1	LS	6,000.00	6,000	
Shelving / Storage Accessories - Allowance	1	LS	8,000.00	8,000	
Conference room furniture	1	LS	8,000.00	8,000	
Guest seating	1	LS	5,000.00	5,000	
Filing/storage systems	1	LS	5,000.00	5,000	
Computers and monitors	8	EA	1,500.00	12,000	
Printer/copier/scanner	2	EA	4,000.00	8,000	

Maintenance & Facility Support

Maintenance shop tools	1	LS	10,000.00	10,000	
Tool storage cabinets	1	LS	4,000.00	4,000	
Workbench systems	1	LS	3,000.00	3,000	
Storage shelving	1	LS	4,000.00	4,000	
Portable generator	1	LS	15,000.00	15,000	

Furnishings and Accessories 103,000

SUBTOTAL FURNISHING 103,000

13 0000 SPECIAL CONSTRUCTION**13120 Special Construction**

Pre-Engineered Metal Building Structure	5,024	GSF	55.00	276,320	
Misc Canopies / Roof Extensions	1	LS	40,000.00	40,000	

Special Construction 316,320

SUBTOTAL SPECIAL CONSTRUCTION 316,320

14 0000 CONVEYING SYSTEM**142000 Elevators**

NONE

Elevators -

SUBTOTAL CONVEYING SYSTEM -

7/28/2022

KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS

21 0000 MECHANICAL - FIRE PROTECTION**213100 Fire protection piping**

Valve Assemblies	1	LS	10,000.00	10,000	
Fire Department Connection (FDC)	1	EA	2,500.00	2,500	
FP Alarm Valve Drain Valve	1	EA	2,000.00	2,000	
Meter/Backflow Preventer	1	EA	3,500.00	3,500	
Hydraulic calculations, permits and testing	1	LS	6,500.00	6,500	

Fire protection piping 24,500

213200 Fire pumps

FP service equipment, valves, compressors, etc.	1	LS	12,000.00	12,000	
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Fire pumps 12,000

213300 Wet pipe sprinkler system

Pendant Sprinkler Head	30	EA	180.00	5,400	
Electric Alarm Bell	1	EA	3,200.00	3,200	

Wet pipe sprinkler system 8,600

213350 Dry pipe sprinkler system

NONE

Dry pipe sprinkler system -

SUBTOTAL FIRE PROTECTION 45,100

22 0000 MECHANICAL - PLUMBING**224100 Plumbing piping**

New piping	912.50	LF	65.00	59,313	
New piping Insulation	912.50	LF	22.00	20,075	
2" Gas Piping	625.00	LF	65.00	40,625	
Gas Valves & Accessories	1.00	LS	3,500.00	3,500	
New Sanitary Piping	300.00	LF	75.00	22,500	
New Sanitary Vent Piping	40.00	LF	65.00	2,600	

Plumbing piping 148,613

224300 Plumbing specialties

Backflow Preventer	1.00	EA	3,500.00	3,500	
Water Service Meter	1.00	EA	4,500.00	4,500	
Gas Service Meter	1.00	EA	4,500.00	4,500	
Trench Drain Cover at Kennels	120	LF	50.00	6,000	

Plumbing specialties 18,500

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

DESCRIPTION	BUILDING AREA			5,024	GSF
	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>224400</u> <u>Plumbing fixtures</u>					
Hose Bibs w/H&C Mixing Valves - 2 per Kennel Area	4	EA	800.00	3,200	
DWH-1 (80 Gal - located in Electrical Room)	1	EA	2,600.00	2,600	
Double Sink at Kitchenette	1	EA	1,600.00	1,600	
Drinking Fountain	2	EA	1,800.00	3,600	
Shower	1	EA	2,200.00	2,200	
Sink at Decontamination	1	EA	1,600.00	1,600	
Slop Sink at Decontamination	1	EA	1,600.00	1,600	
Floor Sink at Janitor Closet	1	EA	1,200.00	1,200	
Toilet	2	EA	1,200.00	2,400	
Wall Mounted Sink at Restroom	2	EA	1,200.00	2,400	
Plumbing fixtures					22,400
<u>224500</u> <u>Plumbing equipment</u>					
Allowance for equipment not yet defined	1	LS	3,500.00	3,500	
Plumbing equipment				-	3,500
<u>224750</u> <u>Pool & fountain equipment</u>					
NONE					
Pool & fountain equipment					-
<u>224800</u> <u>Special systems</u>					
Flush Testing	1	LS	3,000.00	3,000	
Commissioning	1	LS	3,000.00	3,000	
Special systems					6,000
SUBTOTAL MECHANICAL - PLUMBING					199,013
<u>23 0000</u> MECHANICAL - HVAC					
<u>235100</u> <u>Hydronic & refrigerant piping</u>					
NONE					
Hydronic & refrigerant piping					-
<u>235500</u> <u>Heat generation</u>					
NONE					
Heat generation					-
<u>236500</u> <u>Refrigeration</u>					
Condensing Unit CU-1	1	EA	53,100.00	53,100	
Condensing Unit Refrigerant Return Line	80	LF	80.00	6,400	
Condensing Unit Refrigerant Supply Line	80	LF	80.00	6,400	
Refrigeration					65,900
<u>237500</u> <u>Heat transfer</u>					
NONE					
Heat transfer					-

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA		5,024	GSF
DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>238500</u> <u>Air handling</u>					
Daikin 12.5 Ton DOAS unit with energy recovery heat exchanger, DX cooling with hot gas reheat, modulating gas burner, direct drive supply and exhaust fans	1.00	LS	56,875.00	56,875	
Toilet Room Exhaust Fan - Soler & Palau, Model #PV-100X, ducted through roof	2.00	EA	1,600.00	3,200	
AHU-1 / Furnace	1	EA	18,400.00	18,400	
IAQ Air Exchangers at Isolation areas	1	LS	25,000.00	25,000	
Air handling					103,475
<u>238800</u> <u>Air distribution</u>					
Exhaust/Return Ductwork at Kennel Areas	1,269	LBS	14.00	17,763	
Exhaust Grille at Isolation	1	EA	400.00	400	
Exhaust/Return Ductwork at General Areas	212	LBS	14.00	2,967	
Supply Ductwork at General Areas	1,643	LBS	14.00	23,005	
Supply Ductwork at Kennel Areas	2,950	LBS	14.00	41,296	
Supply Grille at General Areas	6	EA	400.00	2,400	
12x12 Supply Grilles in Each Kennel Balanced to 200 CFM	12	EA	400.00	4,800	
14x14 Filtered Return Grille Located in Each Kennel	3	EA	450.00	1,350	
New Flue Pipe	4	EA	1,200.00	4,800	
Air distribution					98,780
<u>239500</u> <u>Controls</u>					
Controls Package - DAIKIN Controls for DOAS; T-Stat for Office System	1.00	LS	18,000.00	18,000	
Wall Mounted Thermostat for Cooling & Heating Wired to AHU-1	1	EA	3,500.00	3,500	
Controls					21,500
<u>239900</u> <u>Testing & balancing</u>					
Testing & Balancing	1.00	LS	10,000.00	10,000	
Testing & balancing					10,000
SUBTOTAL HVAC					299,655
<u>26 0000</u> <u>ELECTRICAL</u>					
<u>262000</u> <u>Power generation</u>					
Provide new electrical 200Amp, 120/240V, 1Phase overhead electric service to the building from existing CL&P pole	1	LS	25,000.00	25,000	
New exterior meter on right side of building entrance	1	EA	5,000.00	5,000	
New Generator Set	1	EA	40,000.00	40,000	
Power generation					70,000
<u>263000</u> <u>Medium voltage distribution</u>					
Medium Voltage Distribution Throughout	5,024.00	SF	2.80	14,067	
Medium voltage distribution					14,067

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KEHES GROUP, LTD**Bristol Animal Control****Bristol, CT****Conceptual Estimate - Renovation of Existing Facility**

		BUILDING AREA			5,024	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>264000</u>	<u>Service & distribution</u>					
	Remove & Maske-safe Existing Equipment Connections	4	LS	1,000.00	4,000	
	New 200A, 120/240V, 42-pole panel, "NP-1", to be located on the south side of Isolation Room #103	1	LS	3,000.00	3,000	
	60A, 2P circuit breaker in new panel "NP-1" and reconnect existing panel "A"	1	EA	400.00	400	
	Relocate existing Automatic Transfer Switch ATS-1 from building exterior to Isolation Room #103. Reconnect ATS-1 to existing 17kW 120/240V, 1-Phase generator that will remain in place and operational	1	LS	3,800.00	3,800	
	Provide electric feed to DOAS unit located outside. Provide wall mounted weather-proof fused disconnect. Anticipated load is: 230V, 1-Phase, 60 Hz, minimum circuit ampacity 36A, maximum overcurrent protection 44A, recommended fuse size 40A.	1	LS	3,725.00	3,725	
	New 230V, 1-Phase, 60 Hz electrical circuit to new CU-1. Unit mounted weather-proof fused disconnect at CU-1. Anticipated load is 120V, 1-Phase 60 Hz, minimum circuit ampacity 15A.	1	LS	3,660.00	3,660	
	Dedicated electrical circuit with local fused disconnect switch at new Furnace	1	LS	3,660.00	3,660	
	Service & distribution					22,245
<u>265000</u>	<u>Lighting</u>					
	New Lighting Allowance	5,024	GSF	8.00	40,192	
	New Exterior Light (Round)	8	EA	1,200.00	9,600	
	Lighting					49,792
<u>266000</u>	<u>Special systems</u>					
	Miscellaneous Devices - Receptacles, GFCI's, J-Boxes, Pull Boxes	5,024	SF	4.00	20,096	
	120V GFI duplex outlet at DOAS/CU-1 pad for service	2	EA	2,200.00	4,400	
	CCTV camera system	20	EA	1,500.00	30,000	
	Video management server	1	LS	8,000.00	8,000	
	Card access system	1	LS	18,000.00	18,000	
	Intrusion alarm system	1	LS	10,000.00	10,000	
	Panic button system	1	LS	5,000.00	5,000	
	Grounding & bonding	1	LS	7,500.00	7,500	
	Wireless hub/router	4	EA	1,000.00	4,000	
	TVSS & Misc Surge Protection	1	LS	2,500.00	2,500	
	Submittals & Shop drawings	1	LS	2,500.00	2,500	
	Operating Manuals & Training	1	LS	2,500.00	2,500	
	Special systems				-	114,496
<u>267000</u>	<u>Communication</u>					
	Telephone wiring from central switch / Cat 6 cabling	1	LS	3,000.00	3,000	
	Communication				-	3,000
<u>268500</u>	<u>Electric resistance heating w/HVAC</u>					
	Electric resistance heating				-	-

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KEHES GROUP, LTDBristol Animal ControlBristol, CTConceptual Estimate - Renovation of Existing Facility

		BUILDING AREA			5,024	GSF
	DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT	SUB-TOTALS
<u>269000</u>	<u>Controls</u>					
	NONE				-	
	Controls				-	
<u>269500</u>	<u>Testing</u>					
	Testing, Inspections & Certifications	1	LS	6,500.00	6,500	
	Testing				-	6,500
	SUBTOTAL ELECTRICAL					280,100

This version is **materially better**. The financial discussion is clearer, the contingency concern now has context, and stating the **\$271,359 difference between the estimate and available budget** gives the Committee an important piece of information it previously had to calculate itself.

For distribution to a building committee, I would consider this **close, but not final**. The remaining improvements are primarily about precision: what the \$4.133 million represents, exactly what the Committee is authorizing, how design-build is described, and how strongly you characterize future cost escalation.

What is good

1. The opening financial paragraph is much stronger.

This is probably the biggest improvement:

“DPW generally concurs with the estimate; however, the contingency allowances appear low given the current stage of project development.”

That is professional and appropriately cautious. It does not undermine the consultant's estimate, but it puts DPW's concern on the record.

Following it immediately with:

“The available project budget is \$4,404,475, providing approximately \$271,359 above the current estimate.”

is also very effective. The Committee can now immediately see that the project is **currently within budget, but without a large cushion**.

2. The memo makes a clear recommendation rather than merely presenting information.

“DPW therefore recommends the following action...” tells the Committee why the memo is before them. That's appropriate for an action item.

3. The facility scope is specific without becoming overly technical.

The 5,024-square-foot size, enclosure/run counts, isolation areas, garage, cat kennel, exotic animal room, and supporting spaces give the Committee enough information to understand the facility being authorized.

4. Design-build has a legitimate explanation.

The later statement that design-build will help expedite the schedule, provide a single point of responsibility, and facilitate value engineering and cost control is useful. Those are the types of reasons I would expect Committee members to want documented.

5. Including air conditioning explicitly is useful.

I would retain it. It establishes that appropriate mechanical/environmental systems for animal housing are part of the intended project scope rather than something that might later be viewed as an add-on.

What I would improve

1. Change “total design & construction cost”

This is better than “total construction cost,” but I still don't think it is the best description.

You say the \$4,133,116 includes:

- architectural services;
- design;
- construction;
- specialized equipment;
- escalation; and
- contingencies.

Therefore, **“total estimated project cost”** is probably the clearest description.

I recommend:

“The July 28, 2026 estimate identifies a total estimated project cost of \$4,133,116, including architectural and engineering services, construction, specialized equipment, escalation, and contingencies.”

Also, “architectural services” and “design” may be somewhat redundant. If the estimate actually distinguishes those as separate cost categories, retain both. Otherwise, “architectural and engineering services” is cleaner.

I would avoid **&** throughout the formal memo and use **“and.”**

2. The \$271,359 statement is good, but “above” could be clearer

Current:

“providing approximately \$271,359 above the current estimate.”

I prefer:

“leaving approximately \$271,359 in available funding above the current estimate.”

Or even:

“The available project budget is \$4,404,475, which exceeds the current estimate by approximately \$271,359.”

The second is especially clean and factual.

One caution: because you've just said the contingencies appear low, I would **not call the \$271,359 a “contingency” or “project contingency.”** It is simply the difference between current funding and the estimate unless it has formally been designated otherwise.

3. The Committee action still needs to be more precise

This remains my biggest substantive concern.

Current:

“Approve proceeding with design and construction of a new Animal Control facility...”

and then:

“Said approval shall authorize use of a design-build delivery method.”

The reader understands the general intent, but the exact authorization isn't completely clear.

If what you actually need from the Committee is permission for DPW to move forward with design-build procurement, I would make that the action:

“Approve the proposed facility program and authorize the Department of Public Works to proceed with design-build procurement for the design and construction of a new Animal Control facility on Vincent P. Kelly Road.”

That is much more useful as an official Committee action because it states **what is approved and what DPW is authorized to do next.**

There is an important distinction between authorizing DPW to **issue an RFP** and authorizing DPW to **award a construction contract**. Your final language should reflect the Committee's actual authority and the City's procurement process.

4. Replace “Said approval”

“Said approval shall authorize...” is legally flavored language, but it sounds dated and is unnecessary in a DPW committee memo.

I'd simply use:

“Committee approval will authorize DPW to proceed using a design-build delivery method.”

Or, preferably, incorporate design-build directly into the recommendation as described above.

5. The design-build paragraph is repetitive

You first authorize design-build and explain the procurement mechanics. Later you say:

“DPW recommends design-build to expedite the schedule, establish a single point of responsibility, and support value engineering and cost control...”

I would combine these concepts. Explain **why** design-build is recommended before describing what DPW will do.

For example:

“DPW recommends a design-build delivery method to expedite the project schedule, establish a single point of responsibility, and support value engineering and cost control throughout project development. Upon Committee approval, DPW will prepare a Request for Proposals in coordination with the City Purchasing Department to procure a qualified design-build firm responsible for architectural and engineering services and construction.”

That eliminates repetition and improves the logical sequence:

why design-build → Committee authorization → what DPW does next.

6. Change “architectural & engineering services along with construction of a new building”

This is unnecessarily wordy:

“responsible for architectural & engineering services along with construction of a new building.”

I'd use:

“responsible for architectural and engineering services and construction of the new facility.”

“Facility” is also better than “building” because the project includes specialized animal housing and operational components beyond the building shell.

7. Reconsider “Zoning Commission or Planning Commission”

This phrase could create questions:

“City land-use approval (Zoning Commission or Planning Commission).”

Why “or”? Is it not yet known which commission has jurisdiction? Could both be required?

Unless you've definitively determined the required approval, I wouldn't make the memo unnecessarily specific.

I'd use:

“The project scope shall include all required City land-use and regulatory approvals.”

If you want the commissions identified:

“...including approval by the Zoning Commission and/or Planning Commission, as applicable.”

The first is cleaner.

8. The architectural-work sentence could be incorporated into the procurement discussion

Current:

“Architectural work completed to date will be made available to the selected design-build firm.”

This is useful information, but it feels slightly disconnected.

Consider:

“Architectural work completed to date will be provided to the selected design-build firm for use in advancing the project.”

“Provided” is stronger than “made available,” and “for use in advancing the project” explains its purpose.

9. Change the escalation statement — this is important

I would definitely change:

“Delays beyond the period will increase project cost.”

“Will” makes a definite prediction about future construction pricing that the memo cannot really establish.

I'd use:

“Delays beyond that period may result in additional escalation and increased project costs.”

That's appropriately cautionary without overstating certainty.

Also, **“that period”** is clearer than “the period.”

One thing I would consider adding

You now have an interesting combination:

\$4,133,116 estimate

\$4,404,475 available

\$271,359 difference

DPW believes the contingency allowances are low

That naturally raises a Committee question:

“What is DPW going to do if costs begin exceeding the estimate?”

Your design-build/value-engineering language partly answers it, but I would make the connection explicit.

A strong sentence would be:

“The design-build procurement will emphasize development of the project within the available project budget, with value engineering incorporated as necessary throughout design.”

That tells the Committee that DPW recognizes the relatively limited financial margin and has a strategy for managing it.

I would also change the order slightly

Your current organization is:

Estimate → Recommendation → Facility → Design-build → Enclosures → Existing architectural work → Why design-build → Escalation

I think this flows better:

Estimate/Budget → Recommendation → Facility Scope → Why Design-Build/Procurement → Land Use/HVAC → Existing Work/Enclosures → Escalation and Cost Control

The key improvement is putting the **reason for design-build next to the recommendation to use design-build**, rather than explaining the rationale several paragraphs later.

Suggested treatment of the recommendation

I would make this the visual centerpiece of the memo:

RECOMMENDATION: Approve the proposed facility program and authorize the Department of Public Works to proceed with design-build procurement for the design and construction of a new Animal Control facility on Vincent P. Kelly Road.

Then put the 5,024-square-foot facility description in normal text immediately afterward.

That is better than bolding a large block of scope and procurement language. The Committee member looking at the packet can immediately answer, **“What are we voting on?”**

Minor wording changes

I would make these small edits throughout:

“KEHES Group, LTD” → use the firm's exact legal styling from its documents; if it is “Ltd.” rather than “LTD,” follow that.

“design & construction” → **“design and construction”**

“architectural & engineering” → “**architectural and engineering**”

“new building with an area of approximately 5,024 square feet” → “**new approximately 5,024-square-foot facility**”

“Delays beyond the period” → “**Delays beyond that period**”

“increase project cost” → “**increase project costs**”

Bottom line

This draft has progressed from a **project-information memo** toward a strong **Committee action memo**. The financial paragraph is now one of its strongest sections. The principal remaining weakness is that the recommendation still doesn't define the Committee's authorization as precisely as it could.

I would make **five final changes before distribution**: change “**total design & construction cost**” to “**total estimated project cost**”; make the recommendation expressly authorize **design-build procurement**; consolidate the two design-build discussions; replace the uncertain “**Zoning Commission or Planning Commission**” formulation; and change “**will increase project cost**” to “**may result in additional escalation and increased project costs.**”

With those changes, I think the memo will be considerably more defensible, easier for the Committee to act upon, and clearer if someone later reads it as part of the official project record.



Department of Public Works | 860.584.6125

MEMORANDUM

DATE: August 13, 2026

TO: Animal Control Building Committee

FROM: Raymond A. Rogozinski, P.E., Director of Public Works

RE: New Animal Control Facility - Conceptual Estimate and Recommendation to Proceed

The Department of Public Works (DPW) retained KEHES Group, LTD to prepare a conceptual cost estimate for a new Animal Control facility on Vincent P. Kelly Road, across from the DPW Operations Facility. The July 28, 2026 estimate identifies a total construction cost of \$4,133,116, including construction, specialized equipment, design allowances, escalation, and contingencies. DPW generally concurs with the estimate but believes the contingency allowances may be insufficient as the project advances. The available project budget is \$4,404,475. DPW therefore recommends the following action for the Committee's approval:

Approve proceeding with design and construction of a new Animal Control facility on Vincent P. Kelly Road. The proposed facility will contain approximately 5,024 gross square feet and include 30 primary animal enclosures, 30 exercise runs, animal isolation areas, a storage garage, a cat kennel room, an exotic animal room, and supporting operational spaces identified in the DPW Engineering facility assessment.

Authorize use of a design-build delivery method. DPW will prepare a Request for Proposals and coordinate with the City Purchasing Department to procure a single qualified firm responsible for architectural and engineering design, construction, required City land-use approvals, and the mechanical and ventilation systems necessary for animal housing and operations, including air conditioning.

Enclosed are the conceptual estimate prepared by KEHES Group, LTD and the building space assessment prepared by the DPW Engineering Department.

Architectural work completed to date will be made available to the selected design-build firm. DPW recommends design-build to expedite the schedule, establish a single point of responsibility, and support value engineering and cost control throughout project development.

The estimate includes a 9 percent escalation allowance based on construction commencing within 24 months. Delays beyond that period may increase project cost. Please contact me at 860-584-6113 with any questions or if additional information is required.