



*City of Bristol
Economic and Community Development Board*

INFORMATION TO ACCESS THIS MEETING

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1](https://bristolct.gov.zoom.us/j/88118127499?pwd=KSgdv005YskVw9whYJONjlVv0zSwz.1)

*Meeting ID: 881 1812 7499
Passcode: 767448*

An ECD Industrial Committee Special Meeting will be held on Wednesday, January 8, 2025 at 4:00pm in Meeting Room 1-3 (Rm. 111), City Hall, 111 North Main Street, Bristol, CT.

- I. Call to Order
- II. Public Participation
- III. Approval of Minutes
 - A. Special Meeting Minutes from October 3, 2024
- IV. Southeast Bristol Business Park Lot #3 Site Plan/Building Plan
 - A. Lot #3 Site Plan/Building Plan
- V. Take Any Necessary Actions
- VI. Adjournment

PER ORDER OF THE CHAIRPERSON

Jeff Caggiano
Mayor

**Economic and Community Development
INDUSTRIAL COMMITTEE - Special Meeting**

Thursday, October 3, 2024 at 4:30pm
City Hall, 111 N. Main Street, Bristol
Meeting Room 1-3 and on Zoom

ATTENDEES: Mayor Caggiano, Commissioners Goldwasser and Cowdell
ABSENT: Commissioner Verikas
GUESTS: Diego Contigo and Jessica Cabanellas of Horizon Natural Stone
Charlie Nyberg, Architect
STAFF PRESENT: Justin Malley, ECD Executive Director

I. Call to Order

Mayor Caggiano called the meeting to order at 4:32pm and led attendees in the Pledge of Allegiance, and introductions of the ECD Members present for the Industrial Committee.

II. Public Participation

Mr. Michael J. Dudko, 116 Lewis Rd., Bristol, CT spoke of his concerns regarding the proposed plan for Horizon Natural Stone operating on Lot#2 in the Southeast Bristol Business Park (SEBBP). His main concern was the effects the stone business operations could have on the Lot#3 wetlands which is adjacent to Lot#2 and, with industry, what kind of future contamination could take place there.

III. Approval of Minutes

A. Special Meeting of July 11, 2024

Commissioner Goldwasser made a motion to approve the Minutes from the July 11, 2024 Special Meeting. The motion was seconded by Mayor Caggiano. All were in favor and the Minutes were approved into the record.

IV. Discuss proposal for the Southeast Bristol Business Park (SEBBP)

A. Lot #2 Project Proposal

In the interest of time, Commissioner Goldwasser requested approval from the Chair to put forth the Proposed Motions for discussion. Mayor Caggiano approved the request, and Commissioner Goldwasser read the Proposed Motion as follows:

PROPOSED MOTION: To approve the following modification to the Southeast Bristol Business Park Design Guidelines and Regulations Section III.B.1.2:

Modify the following language:

c. Third Priority: Distribution facilities employing 2 or more facility employees per 1,000 square feet of floor area. "Mini warehouses" for self-storage or long-term storage shall be excluded.

To read:

c. Third Priority: Distribution facilities. "Mini warehouses" for self-storage or long-term storage shall be excluded.

Mayor Caggiano seconded this motion, opening it up for discussion. Justin Malley introduced Diego Contigo and Jessica Cabanellas of Horizon Natural Stone, a distributor of high-end façade and landscaping stones.

Mr. Contigo and Ms. Cabanellas presented their company's 20-year history and their interest in purchasing the property in the business park to grow their business. Justin Malley emphasized that Horizon Stone is a distributor and the business park guideline language addresses their smaller staff and the size of the facility vs. how the guidelines are currently written. Horizon Stone confirmed they're not a manufacturer, they are wholesale selling to other companies, not end users, and are pure distribution. Horizon Stone currently employs five people but their needs are for storage space vs. accommodating staff size, hence the motion to change the SEBBP Guideline wording.

Mayor Caggiano then called for a vote on this Motion. All were in favor and the Motion was accepted into the record.

Commissioner Goldwasser then read the following Motion:

PROPOSED MOTION: Per Section IV. of the Southeast Bristol Business Park Guidelines, to notify all owners of property in the Southeast Bristol Business Park of the proposed modification of said Guidelines concerning Distribution Facilities. Pending consent by all property owners to said modification, to approve the purchase and occupancy of 101 Business Park Drive by Horizon Natural Stone, LLC, or its assigns, to conduct operations under its NAICS designation as a Brick, Stone, and Related Material Merchant Wholesaler.

This motion was seconded by Mayor Caggiano. There was a short discussion about why there is a need to reach out to the SEBBP property owners regarding the above request. He then called for a vote. All were in favor and the Motion was accepted into the record.

Commissioner Goldwasser then read the following Motion:

PROPOSED MOTION: Per Section III.B.3.8.1a of the Southeast Bristol Business Park Guidelines, to approve the outdoor storage of finished goods - in the form of high-end stone and related material stored outside the building at 101 Business Park Drive in a clean, orderly fashion using pallets and similar structures – for Horizon Natural Stone, LLC.

Mayor Caggiano seconded the motion. Justin Malley advised that outdoor storage is allowed per the SEBBP Guidelines, but it must be approved by the ECD Board. The small squares on the site plan are stacked and stored pallets with room for a forklift to access them. This was confirmed by Architect, Charlie Nyberg.

There was a call to vote. All were in favor and the Motion was accepted into the record.

Commissioner Goldwasser then read the following Motion:

PROPOSED MOTION: Per Section III.B.3.7.4 of the Southeast Bristol Business Park Guidelines, to approve the screening proposal of Horizon Natural Stone, LLC concerning the outdoor storage of finished high-end stone at 101 Business Park Drive to include appropriate vegetative buffer from

residential areas and fencing of composite or other high-quality material to screen objectional views that may be visible from adjacent properties or the street.

Mayor Caggiano seconded the motion. Architect Charlie Nyberg reviewed the site plan with the proposed style, height and location of the vinyl woven fence material to obscure the outdoor storage.

A vote was called. All were in favor and the Motion passed into the record.

Commissioner Goldwasser then read the following Motion:

PROPOSED MOTION: Per Section III.B.3.14 of the Southeast Bristol Business Park Guidelines, to approve Horizon Natural Stone LLC, or assigns, use of natural stone within a minimum of the first 8 feet of building elevation on street-facing sides as a building architectural treatment and to approve the use of all metal for portions of the building exterior that are not easily visible from the street.

Discussion centered around the need for the building to have a stone façade, and both how and where that façade would be located. This is in regards to the overall look and curb appeal of the location in the business park.

A vote was called for. All were in favor and the Motion passed into the record.

Commissioner Goldwasser then read the final following Motion:

PROPOSED MOTION: To bring all of the above items to the ECD Board for final approval and a deciding vote.

Mayor Caggiano seconded the motion. A vote was taken. All were in favor and the Motion passed into the record.

V. Take Any Necessary Actions

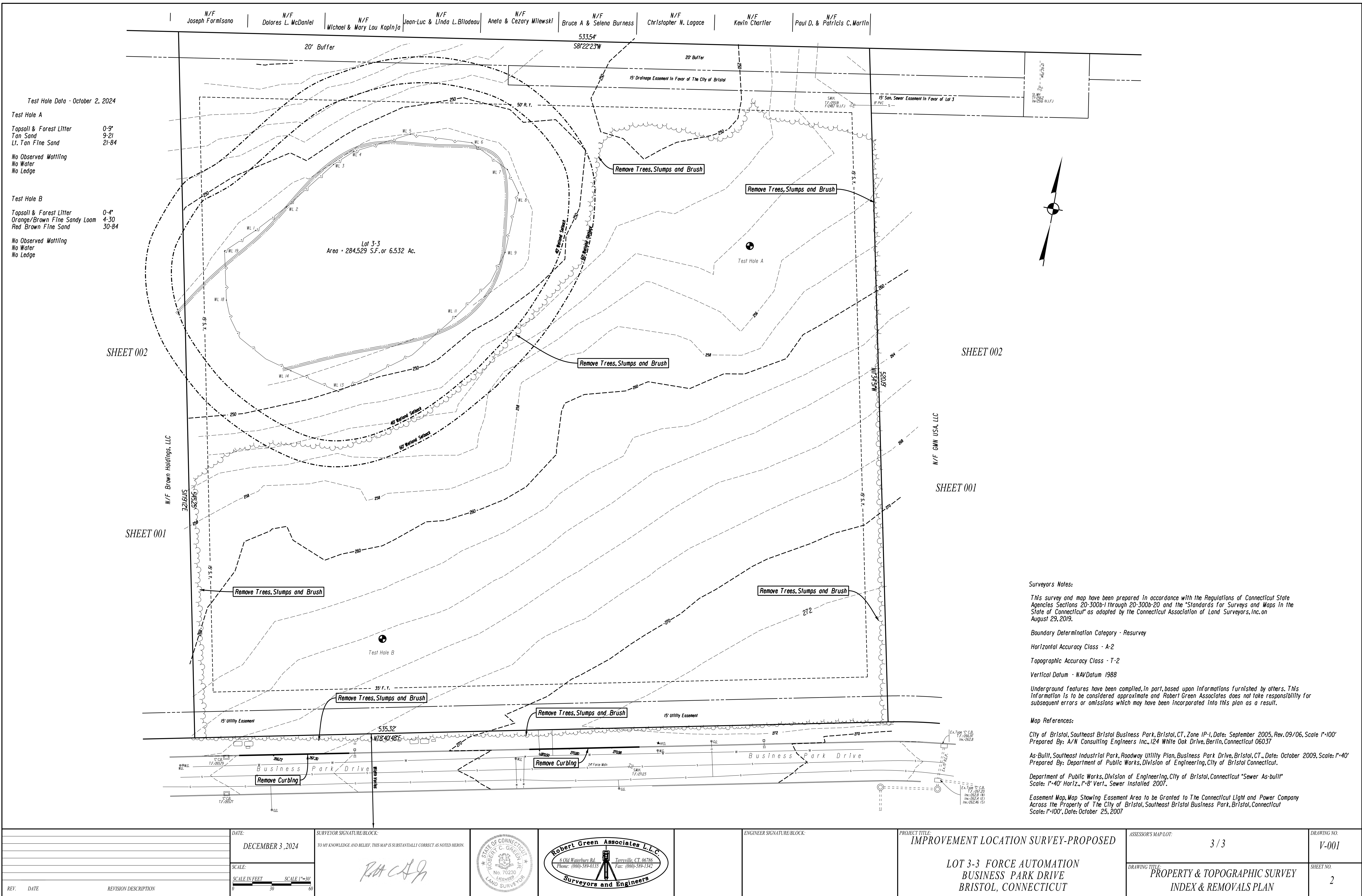
The necessary actions are as laid out in the approved Motions above.

VI. Adjournment

Before Adjourning, Mayor Caggiano confirmed with Mr. Dudko that he had his questioned from during Public Participation answered. Commissioner Goldwasser made the motion to adjourn which was seconded by Mayor Caggiano. All were in favor and the meeting adjourned at 4:57pm

Respectfully submitted,

Sharon Arsego
Recording Secretary



GENERAL NOTES:

1. ASSESSORS MAP: 3
ASSESSORS LOT: 3
2. PROPERTY ADDRESS: BUSINESS PARK DRIVE
3. OWNER NAME: CITY OF BRISTOL
5. ZONE: IP-1
6. LOT AREA - 284,529 S.F. (6.532 ACRES)
7. WETLANDS SHOWN ARE AS INDICATED ON MAP REFERENCE NO.1
8. BASED ON FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 466 OF 675, MAP NUMBER 0900304667, EFFECTIVE DATE: SEPTEMBER 26, 2008 THE PARCEL LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
9. THE PROPERTY IS "NOT" LOCATED WITHIN A AQUIFER PROTECTION AREA
10. EXISTING CONTOURS AT 2' INTERVALS - PROPOSED CONTOURS AT 1' INTERVALS
11. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" AT 811 PRIOR TO THE COMMENCEMENT OF ANY WORK
12. PROPOSED BUILDING TO BE SERVICED BY PUBLIC WATER AND SEWER
13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION

CONSTRUCTION SEQUENCE

1. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
2. HOLD PRECONSTRUCTION MEETING WITH THE OWNER, ENGINEER, CONTRACTOR AND APPROPRIATE TOWN STAFF. REVIEW FLAGGED CLEARING LIMITS AND DETERMINE TOPSOIL STOCKPILE AREA. (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
3. FLAG REMAINDER OF THE LIMITS OF CONSTRUCTION AND TREE PROTECTION ZONES IF REQUIRED.
4. INSTALL CONSTRUCTION ENTRANCE PAD.
5. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AND TREE PROTECTION DEVICES IN ACCORDANCE WITH THE E&S PLAN.
6. CUT TREES WITHIN THE DEFINED CLEARING LIMITS AND REMOVE CUT WOOD CHIP BRUSH AND SLASH, STOCKPILE CHIPS FOR FUTURE USE OR REMOVE OFF SITE.
7. REMOVE ALL ITEMS PER REMOVALS PLAN.
8. STRIP AND STOCKPILE ALL TOPSOIL THAT IS WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE AND REFERENCE STOCKPILE MANAGEMENT FOR EROSION AND SEDIMENT CONTROLS. EITHER REMOVE TREE STUMPS TO AN APPROVED DISPOSAL SITE OR CHIP IN PLACE AS INDICATED ON THE PLANS.
9. MAKE ALL CUTS AND FILLS REQUIRED. ESTABLISH THE SUBGRADE FOR THE PARKING LOT AND DRIVEWAY AS REQUIRED AND BENCH THE BUILDING TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOT-PRINT OF THE BUILDING FOR THE CONSTRUCTION ACTIVITIES.
10. BEGIN PERIMETER WALL CONSTRUCTION.
11. BEGIN CONSTRUCTION OF THE BUILDING.
12. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
13. INSTALL ALL UTILITIES AND DRAINAGE SYSTEMS TO WITHIN 5 FEET OF THE BUILDING OR AS OTHERWISE MODIFIED BY THE DESIGN ENGINEER TO ADJUST FOR UNFORESEEN SITE CONDITIONS.
14. PREPARE SUB-BASE, SLOPES, PARKING AREAS, SHOULDER AREAS, ACCESS DRIVES AND ANY OTHER DISTURBANCE FOR FINAL GRADING.
15. INSTALL PROCESS AGGREGATE IN PARKING AREAS.
16. PLACE TOPSOIL WHERE REQUIRED. COMPLETE THE PERIMETER LANDSCAPE PLANTINGS.
17. FINE GRADE, RAKE, SEED AND MULCH TO WITHIN 2 FEET OF THE CURBING.
18. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS. INSTALL FIRST COURSE OF PAVING.
19. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
20. INSTALL FINAL COURSE OF PAVEMENT.
21. AFTER THE SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.

OPERATION AND MAINTENANCE PLAN (POST-CONSTRUCTION)

1. ALL DRAINAGE SHOULD BE INSPECTED TWO TIMES PER YEAR AND SEDIMENT REMOVED WHEN IT EXTENDS TO WITHIN 12 INCHES OF THE OUTLET PIPE INVERT. NOT LESS THAN ONCE PER YEAR, THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.
2. ALL PAVED AREAS SHALL BE SWEEPED TWICE ANNUALLY. TYPICALLY, SWEEPING SHOULD OCCUR IN THE SPRING, AFTER WINTER SANDING, AND IN THE FALL, AFTER ALL LEAVES HAVE FALLEN.
3. A VEGETATIVE OR IMPROVED COVER SHALL BE MAINTAINED ON ALL EARTH SURFACES TO MINIMIZE SOIL EROSION. USE OF FERTILIZER SHOULD BE MINIMIZED AND APPLIED USING PRUDENT APPLICATION PROCEDURES. (USE ONLY ORGANIC FERTILIZER)
4. DURING CONSTRUCTION AND FOR THREE MONTHS AFTER PROJECT COMPLETION INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MADE ON A WEEKLY BASIS AND AFTER RAINFALL EVENTS OF 1/2" OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
5. THE WATER QUALITY STRUCTURE SHALL BE INSPECTED TWICE A YEAR AND CLEANED OUT IN ACCORDANCE WITH THE PRODUCT MANUFACTURERS GUIDELINES. RECORDS OF THE INSPECTIONS AND CLEANOUTS SHALL BE MAINTAINED ON THE PREMISES.

GENERAL NOTES FOR SITE PLANS "CITY OF BRISTOL" (AS APPLICABLE)

1. A SANITARY SEWER LATERAL PERMIT OBTAINED FROM THE WATER AND SEWER DEPARTMENT, WILL BE REQUIRED PRIOR TO CONNECTING INTO THE EXISTING SEWER SYSTEM. THE CONTRACTOR INSTALLING THE SEWERS/LATERALS SHALL NOTIFY THE CITY SEWER INSPECTOR BETWEEN 24 AND 48 HOURS PRIOR TO ANY SUCH INSTALLATION AND/OR CONNECTION TO MAKE ARRANGEMENTS FOR AN INSPECTION OF THE SANITARY SEWER INSTALLATIONS. NO SANITARY SEWER INSTALLATION SHALL BE BACKFILLED PRIOR TO AN INSPECTION OF THE COMPLETE PIPE INSTALLATION BY THE CITY SEWER INSPECTOR. ALL BUILDING SEWERS SHALL HAVE A GRAVITY BACK FLOW PREVENTER. (BUILDING SEWERS AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH SEC. 22-191(f) OF THE CODE OF ORDINANCES - CITY OF BRISTOL)
2. A STORM SEWER CONNECTION PERMIT OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, WILL BE REQUIRED PRIOR TO CONNECTING THE PROPOSED DRAINAGE SYSTEM(S) INTO THE CITY SYSTEM AND/OR INSTALLING STORM DRAINAGE WITHIN THE CITY R.O.W. THE CONTRACTOR MAKING THE STORM SEWER CONNECTION AND/OR INSTALLING STORM DRAINAGE WITHIN THE CITY R.O.W. SHALL NOTIFY THE CITY SEWER INSPECTOR BETWEEN 24 AND 48 HOURS PRIOR TO ANY SUCH INSTALLATION AND/OR CONNECTION TO MAKE ARRANGEMENTS FOR AN INSPECTION OF THE STORM SEWER INSTALLATIONS. NO STORM SEWER SHALL BE BACKFILLED PRIOR TO AN INSPECTION OF THE COMPLETE PIPE INSTALLATION BY THE CITY SEWER INSPECTOR.
3. A DRIVEWAY APRON AND/OR SIDEWALK PERMIT OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, WILL BE REQUIRED PRIOR TO CONSTRUCTING ANY DRIVEWAY APRON AND/OR SIDEWALK WITHIN THE CITY R.O.W. THE CONTRACTOR CONSTRUCTING THE DRIVEWAY APRON AND/OR SIDEWALK WITHIN THE CITY R.O.W. SHALL NOTIFY THE CITY HIGHWAY INSPECTOR BETWEEN 24 AND 48 HOURS PRIOR TO ANY SUCH CONSTRUCTION TO MAKE ARRANGEMENTS FOR AN INSPECTION OF ANY DRIVEWAY APRON AND/OR SIDEWALK INSTALLATIONS. NO CONCRETE (PORTLAND CEMENT AND/OR BITUMINOUS) SHALL BE PLACED PRIOR TO AN INSPECTION BY THE CITY HIGHWAY INSPECTOR.
4. SEDIMENTATION AND SILTATION CONTROLS SHALL BE INSTALLED AS REQUIRED BY THE ENGINEERING DIVISION/WEO.
5. GRADING AROUND THE PROPOSED IMPROVEMENTS SHALL BE PERFORMED IN A MANNER WHICH PREVENTS ALL RUNOFF FROM BEING DIRECTED ONTO ADJACENT PROPERTIES, BOTH DURING AND AFTER CONSTRUCTION.
6. AS-BUILT PLOT PLANS SHALL BE SUBMITTED FOR ENGINEERING DIVISION REVIEW AT LEAST THREE (3) DAYS PRIOR TO THE REQUIRED ENGINEERING SIGN-OFF FOR ISSUANCE OF A CERTIFICATE OF OCCUPANCY (C.O.). AS-BUILT PLANS MUST INCLUDE AS-BUILT GRADING OF THE SITE.
7. ANY EXISTING DAMAGED SECTIONS OF SIDEWALK AND/OR CURBING IDENTIFIED BY THE CITY ALONG STREETS ABUTTING THE SITE SHALL BE REPLACED AT THE DIRECTION OF THE CITY'S ENGINEERING STAFF.

PARKING CALCULATION

PHASE 1 BUILDING 1			
OFFICE/RESEARCH	6,725 S.F.	REQUIRED 1/250 G.F.A.	26.9 SPACES
MANUFACTURING/WAREHOUSE	23,416 S.F.	REQUIRED 2/1000 S.F.	46.8 SPACES
TOTAL PHASE 1 BUILDING 1 REQUIRED - 73.7 SAY 74 SPACES			
PHASE 2 BUILDING 2			
MANUFACTURING/WAREHOUSE	12,000 S.F.	REQUIRED 2/1000 S.F.	24 SPACES
TOTAL AGGREGATE PARKING REQUIRED - 98 SPACES			

REMOVAL NOTES:

1. ANY SITE FEATURE NOT LABELED AS BEING REMOVED, REPLACED, ETC. IS INTENDED TO REMAIN.
2. EXISTING ABOVE AND BELOW GROUND UTILITIES TO REMAIN SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
3. DURING THE PRECONSTRUCTION MEETING, THE CONTRACTOR, ENGINEER AND CITY SHALL DETERMINE A SUITABLE LOCATION FOR THE TOPSOIL STOCKPILE.
4. SIDEWALKS TO BE REPLACED SHALL BE REPLACED TO THE NEAREST JOINT.

SIGNING AND PAVEMENT MARKING NOTES:

1. SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO MUTCD OR CONNDOT STANDARDS AS DEPICTED.
2. SIGNS SHALL BE INSTALLED WITH A BREAKAWAY FEATURE.
3. ALL PAVEMENT MARKINGS SHALL BE EPOXY RESIN.

ACCESSIBILITY NOTES:

1. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. ALL ACCESSIBLE EGRESSES SHALL BE FLUSH WITH THE ADJOINING MATERIAL UNLESS OTHERWISE NOTED ON THE PLANS.
3. WALKWAYS ALONG ACCESSIBLE ROUTES ARE NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
4. ALL RAMPS SHALL NOT EXCEED 1/42 OR 2% CROSS PITCH.

UTILITY AND DRAINAGE NOTES:

1. TOP OF FRAME ELEVATIONS SHOWN ON THESE PLANS REFLECT THE 2" STANDARD DEPRESSION FROM GUTTER LINE.
2. ALL CATCH BASINS SHALL HAVE A 2FT SUMP UNLESS OTHERWISE NOTED ON THE PLANS.
3. ALL YARD DRAINS SHALL BE "NYLOPLAST DRAIN BASINS" (OR APPROVED EQUAL) WITH THE STANDARD D.I. FRAME AND GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES REGARDING A FINAL DESIGN, MEANS OF CONSTRUCTION AND EXACT LOCATION AND SIZE OF THE UTILITY PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND UTILITIES TO VERIFY PROPOSED DRAINAGE PIPE CLEARANCES PRIOR TO CUTTING PAVEMENT FOR PIPE TRENCHING EXCAVATIONS.
6. ALL WATERMAIN, WATER SERVICE AND SEWER WORK TO BE INSTALLED IN ACCORDANCE WITH THE BRISTOL WATER AND SEWER DEPARTMENT SPECIFICATIONS. CONTACT KRAG REEGAN AT THE BRISTOL WATER AND SEWER DEPARTMENT AT (860) 582-7431 OR mike@nycnchw1stolcl.gov PRIOR TO THE START OF CONSTRUCTION. THE SEWER CONTACT SHALL BE BRYAN ROBERTS AT (860) 582-7431 OR bryanroberts@bristolcl.gov
7. THE BUILDING WILL HAVE A SINGLE METER INSTALLED AND ONCE THE OWNERS ENGINEER HAS DETERMINED THE MAX GPM TO BE SUPPLIED TO THE BUILDING, BRISTOL WATER AND SEWER DEPARTMENT WILL THEN DETERMINE METER SIZE.
8. ALL WATER SERVICE TAPS TO BE DONE BY THE CITY OF BRISTOL WATER DEPARTMENT. SEWER TAPS TO BE DONE BY CONTRACTOR (DEVELOPER).
9. THE UNUSED 6" FIRE SERVICE TO THE PROPERTY SHALL BE ABANDONED AT THE WATER MAIN; THE VALVE SHALL BE REMOVED AND A PLUG WILL BE INSTALLED.
10. WATER AND SEWER SHALL MAINTAIN A MINIMUM 10 FT HORIZONTAL SEPARATION.
11. SUBSEQUENT TO C.B.Y.D., THE CONTRACTOR SHALL IDENTIFY ANY POTENTIAL CONFLICTS BETWEEN EXISTING UNDERGROUND UTILITIES AND PROPOSED DRAINAGE AND UTILITIES WITHIN THE EASEMENT ALONG THE FRONTAGE.
12. IF THE CONTRACTOR ENCOUNTERS UNDERGROUND DRAINAGE AND/OR UTILITIES DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE PLANS, HE/SHE SHALL CONTACT THE ENGINEER FOR EVALUATION AND AS-BUILT.

GENERAL NOTES FOR EROSION AND SEDIMENTATION CONTROL

1. THIS PLAN OF DEVELOPMENT PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: MINIMIZATION OF SOIL EXPOSURE, CONTROL OF RUNOFF, SHIELDING OF THE SOILS AND BINDING OF THE SOILS. PROPER EROSION MANAGEMENT WILL MINIMIZE THE NEED FOR EXTENSIVE SEDIMENTATION CONTROLS.
2. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
3. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND FOR A PERIOD AFTERWARDS UNTIL ALL AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AFTER EACH STORM EVENT (1/2" OR MORE) OR ONCE A WEEK AND IMMEDIATELY MAKE ANY CORRECTIVE ACTION REQUIRED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. RUNOFF SHALL ALSO BE CONTROLLED BY THE STAGING OF CONSTRUCTION ACTIVITY AND THE PRESERVATION OF NATURAL VEGETATION WHENEVER POSSIBLE.
6. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM AND RESTABILIZATION SHALL BE SCHEDULED AS SOON AS POSSIBLE. THE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS, TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED OR AN APPROVED EQUAL.
- A) SEED BED PREPARATION:
- REMOVE STONES LARGER THAN 2"
- APPLY LIME/STONE AT 50# / 1000 S.F.
- WORK LIME AND FERTILIZER INTO SOIL
- B) SEED APPLICATION:
- APPLY GRASS MIXTURE BY HAND OR CYCLONE SEEDER, LIGHTLY DRAG OR ROLL THE SEED SURFACE TO COVER SEED.
- OPTIMAL SEEDING SEASON IS BETWEEN MARCH 15TH AND JUNE 30TH OR BETWEEN AUGUST 15TH AND OCTOBER 30TH.
- IF SEEDING CAN NOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE STATED BELOW UNTIL SEEDING CAN TAKE PLACE.
- C) SEED MIX:
- CREEPING RED FESCUE 49% / ACRE
- TALL FESCUE 20% / ACRE
- D) MULCHING:
- IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 1-1/2 TONS / ACRE
- SPREAD MULCH BY HAND OR MULCH BLOWER
- PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISK HARROW STRAIGHT UP. MULCH MATERIAL SHOULD BE "TUCKED" APPROXIMATELY 2" - 3" INTO SOIL SURFACE.
- E) TREE PROTECTION:
- LIMIT CONSTRUCTION ACTIVITIES THAT MIGHT CAUSE DAMAGE TO TREES, THE AREA ADJACENT TO, AND TREES THAT ARE TO BE PROTECTED, WILL BE IDENTIFIED AND CLEARLY MARKED. EXCAVATION SHOULD NOT OCCUR WITHIN THE ROOT ZONE OF THE TREES THAT ARE TO REMAIN. IN ADDITION, RAISING OR LOWERING THE GRADE NEAR REMAINING TREES SHOULD NOT OCCUR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY EROSION AND SEDIMENTATION CONTROL MEASURES DUE TO UNFORESEEN FIELD CONDITIONS. ADDITIONAL CONTROL MEASURES MAY ALSO BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE ENGINEER, ENVIRONMENTAL SUPERVISOR AND/OR TOWN ENGINEER.
8. ANY CHANGE TO THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN BY THE CONTRACTOR SHALL BE SUBMITTED BY THE CONTRACTOR IN WRITING AND APPROVED BY THE ENGINEER.
9. ANTI-TRACKING PADS SHALL BE INSTALLED WHERE CONSTRUCTION ACCESS MEETS A PAVED ACCESS POINT, OR AS DIRECTED BY THE ENGINEER.
10. STOCKPILE LOCATIONS SHALL BE DETERMINED PRIOR TO THE START OF CONSTRUCTION AND IF A STOCKPILE IS LOCATED OFF-SITE, THE LOCATION SHALL HAVE EROSION CONTROL MEASURES IN PLACE AND MEET ALL LOCAL REQUIREMENTS.
11. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL TO 1' VERTICAL OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS. WHERE LEDGE IS ENCOUNTERED, THE MAXIMUM CUT SLOPE MAY BE INCREASED TO 1 HORIZ.: 1 VERT. A 4FT HIGH PERMANENT SAFETY FENCE (e.g. CHAIN LINK FENCE) SHALL BE ADDED TO ALL ROCK CUTS GREATER THAN 4FT HIGH.
12. ALL SLOPES OR DISTURBED AREAS (EXCEPT PAVED AREAS) ARE TO BE STABILIZED WITH 4" OF TOPSOIL AND TURF MUST BE ESTABLISHED UNLESS OTHERWISE NOTED ON THE PLANS. STABILIZATION SHALL INCLUDE INSTALLATION OF EROSION CONTROL MATTING WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
13. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, OR APPROVED EQUAL. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
14. TEMPORARY PERVIOUS BARRIERS, USING SILT FENCE AND HAYBALES HELD IN PLACE WITH WOODEN STAKES, SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF-SITE.
15. LUKASZ POPLAWSKI (OR HIS DULY AUTHORIZED AGENT (860) 495-5221) IS RESPONSIBLE FOR NOTIFYING THE MUNICIPAL PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE TO THE START OF ANY CONSTRUCTION ACTIVITY.
16. LUKASZ POPLAWSKI (OR HIS DULY AUTHORIZED AGENT (860) 495-5221) IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION CONTROL PLAN, ITS INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INCLUDING NOTIFYING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
17. THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE 2024 GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, AS AMENDED. AN ADDITIONAL REFERENCE IS THE 1994 CONNDOT PUBLICATION "ON-SITE MITIGATION FOR CONSTRUCTION ACTIVITIES".

EROSION AND SEDIMENTATION CONTROL MAINTENANCE REQUIREMENTS

TOPSOIL STOCKPILES:

THE SIDE SLOPES SHALL NOT EXCEED A SLOPE GREATER THAN 2:1. STOCKPILES THAT WILL NOT BE USED WITHIN 30 DAYS SHOULD BE SEEDED AND MULCHED. A SEDIMENTATION FENCE SHALL BE INSTALLED APPROX. 10 FT FROM THE TOE OF SLOPE.

IF THE TOPSOIL STOCKPILE LOCATION IS RELOCATED, IT SHALL BE LOCATED SO AS NOT TO OBSTRUCT THE NATURAL DRAINAGE PATTERN OF THE SITE. IT SHALL BE LOCATED AS FAR AS PRACTICAL FROM ANY WETLANDS, WATER COURSES, DRAINAGEWAYS AND STEEP SLOPES. IF THE LOCATION IS DOWNGRADIENT FROM A LONG SLOPE, DIVERT RUNOFF AROUND THE STOCKPILE.

CONSTRUCTION ENTRANCE PAD / ANTI-TRACKING PAD:

THE CONSTRUCTION ENTRANCE SHALL BE KEPT CLEAN OF ANY DEBRIS OR CONSTRUCTION MATERIALS. A PERIODIC TOP DRESSING OF STONE SHALL BE ADDED AS MAY BE REQUIRED TO KEEP THE ENTRANCE PAD WORKING EFFECTIVELY. IF A SEDIMENT SPILL OCCURS ON THE ROAD, IT SHALL BE CLEANED UP IMMEDIATELY.

SEDIMENTATION CONTROL FENCE:

THE SEDIMENTATION CONTROL FENCE SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HRS OF A RAIN EVENT OF 0.5 INCHES OR MORE. IF A FAILURE OCCURS, REPAIR OR REPLACE THE FENCE WITHIN 24 HRS. ANY SEDIMENT DEPOSITS THAT REACH HALF THE HEIGHT OF THE FENCE SHALL BE REMOVED.

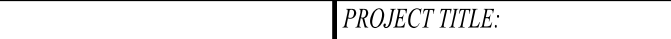
DUST CONTROL:

PERIODICALLY MOISTEN THE EXPOSED SOIL SURFACE TO KEEP TRAVELWAYS DAMP. AFTER THE TRAVELWAY HAS BEEN PAVED, PERIODIC SWEEPING MAY BE REQUIRED TO REMOVE DUST AND FINE MATERIALS ACCUMULATED FROM TRUCK TRAFFIC.

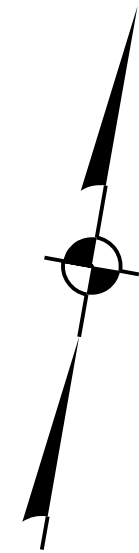
TREE PROTECTION:

TREES TO BE PROTECTED WILL BE IDENTIFIED AND CLEARLY MARKED. CONSTRUCTION ACTIVITIES WITHIN THE ADJACENT AREA THAT MAY CAUSE DAMAGE TO THE TREE SHALL BE LIMITED AND TRUNK ARMORING PROVIDED.

ZONING DATA TABLE				
ZONE IP-1				
	REQUIRED	PHASE 1	PHASE 2	AGGREGATE
MINIMUM LOT AREA (S.F.)	50,000	174,089	110,440	284,529
MINIMUM LOT FRONTAGE (F.T.)	160	303.33	231.99	535.32
MINIMUM FRONT YARD ON A CITY STREET (F.T.)	35	39.5	59.8	N/A
MINIMUM SIDE YARD (F.T.)	15	31.0	103.3	N/A
MINIMUM REAR YARD ABUTTING A RESIDENTIAL ZONE (F.T.)	50	178.7	375.2	N/A
MAX. BUILDING HEIGHT (F.T.)	50	See Arch. Dwgs.	See Arch. Dwgs.	See Arch. Dwgs.
MAXIMUM BUILDING COVERAGE (%)	40	10.5	4.2	14.7
MAXIMUM IMPERVIOUS COVERAGE (%)	88	28.4	10.9	39.3

			DATE: DECEMBER 3, 2024	SURVEYOR SIGNATURE BLOCK: TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.			ENGINEER SIGNATURE BLOCK: 	PROJECT TITLE: IMPROVEMENT LOCATION SURVEY-PROPOSED	ASSESSOR'S MAP/LOT: 3 / 3	DRAWING NO. NOTES-001
			NOT TO SCALE					LOT 3-3 FORCE AUTOMATION BUSINESS PARK DRIVE BRISTOL, CONNECTICUT		SHEET NO. 3
REV.	DATE	REVISION DESCRIPTION								

The Inland Wetlands Commission at its meeting held on Feb. 21, 2006 approved the referenced subdivision with the condition that on Lots 1 & 3 a 60' building setback and 40' grading setback be maintained from the wetlands unless an additional permit is granted from the City of Bristol Inland Wetlands Commission.



N/F
Joseph Formisano

N/F
Dolores L. McDaniel

N/F
Michael & Mary Lou Kopinja

N/F
Jean-Luc & Linda L. Blodeau

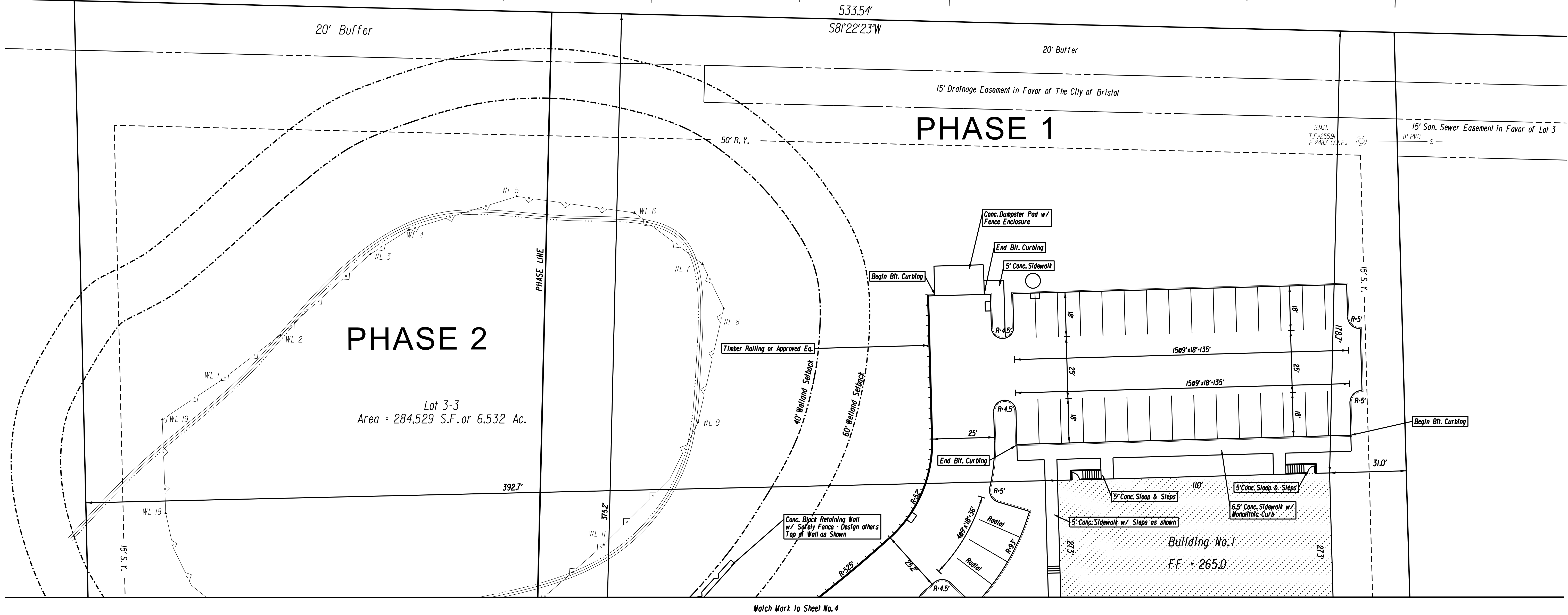
N/F
Aneta & Cezary Milewski

N/F
Bruce A & Selena Burness

N/F
Christopher N. Lagace

N/F
Kevin Chartier

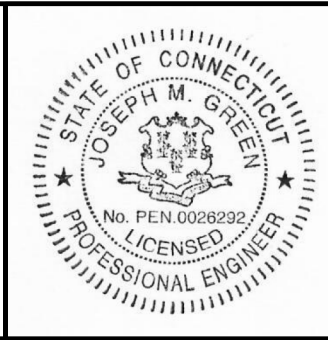
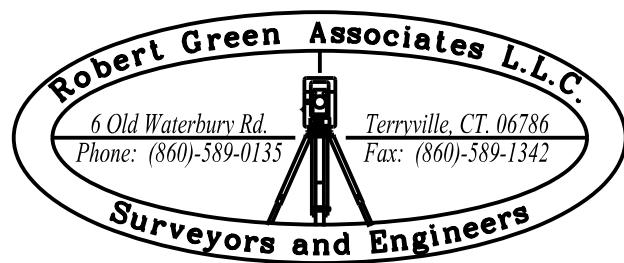
N/F
Paul D. & Patricia C. Martin



REV.	DATE	REVISION DESCRIPTION

DATE: DECEMBER 3, 2024
SCALE: SCALE IN FEET SCALE 1"=20'

SURVEYOR SIGNATURE/BLOCK:
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

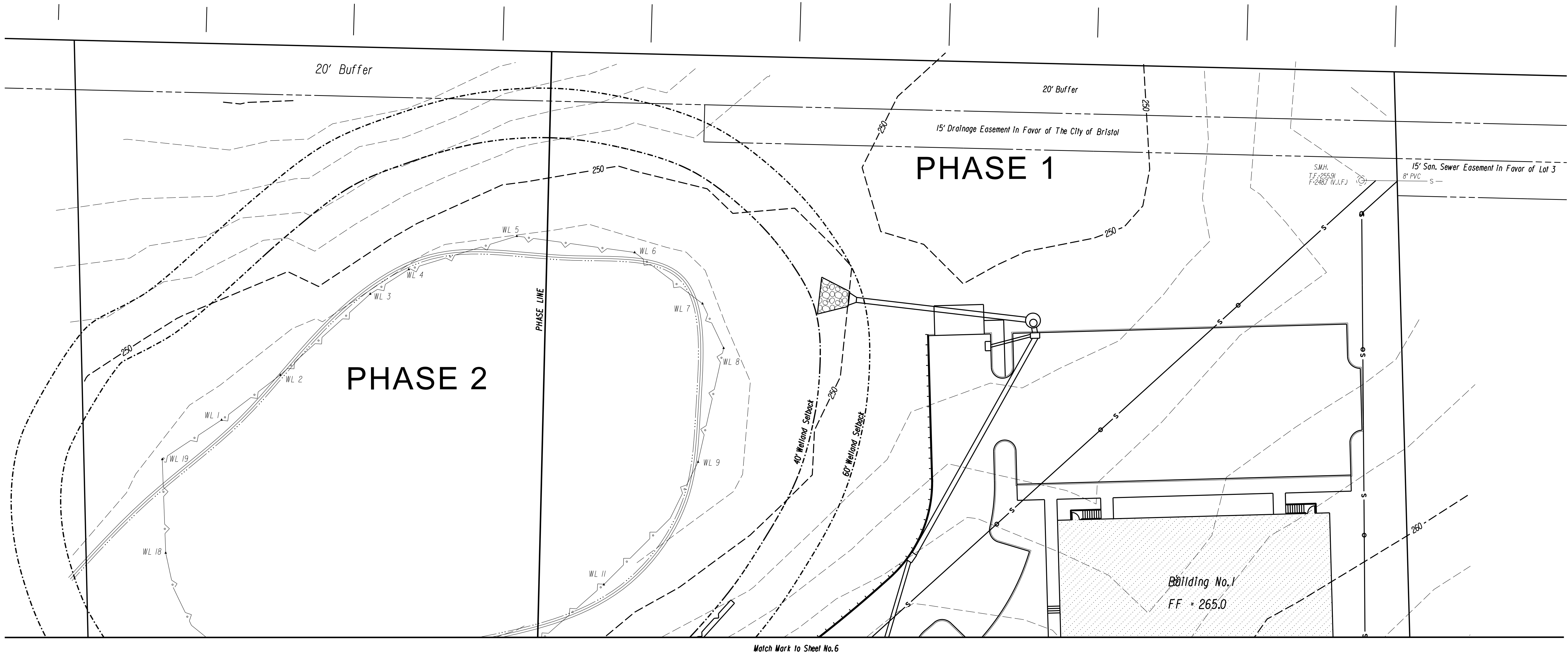
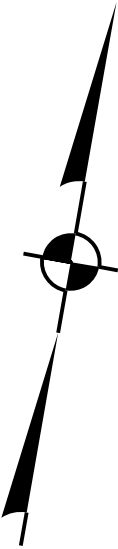


ENGINEER SIGNATURE/BLOCK:
Joseph M. Burness

PROJECT TITLE:
IMPROVEMENT LOCATION SURVEY-PROPOSED
LOT 3-3 FORCE AUTOMATION
BUSINESS PARK DRIVE
BRISTOL, CONNECTICUT

ASSESSOR'S MAP/LOT:
3 / 3
DRAWING TITLE:
LAYOUT, SIGNS AND PAVEMENT MARKINGS

DRAWING NO.
PLN-001
SHEET NO.
5



REV.	DATE	REVISION DESCRIPTION

DATE: DECEMBER 3, 2024
SCALE: SCALE IN FEET 0 20 40 SCALE 1"=20'

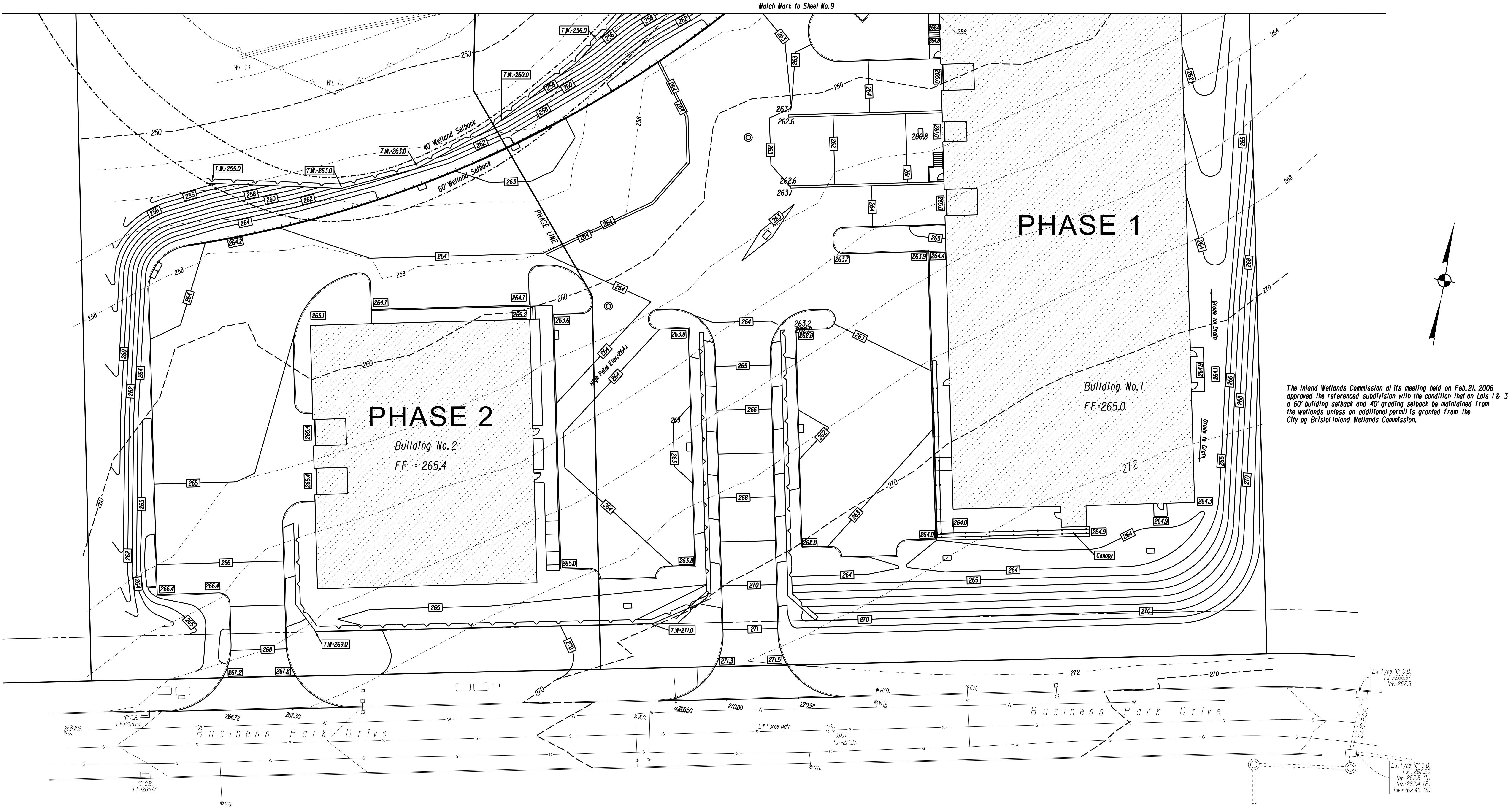
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TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ENGINEER SIGNATURE BLOCK:
Joseph M. Green

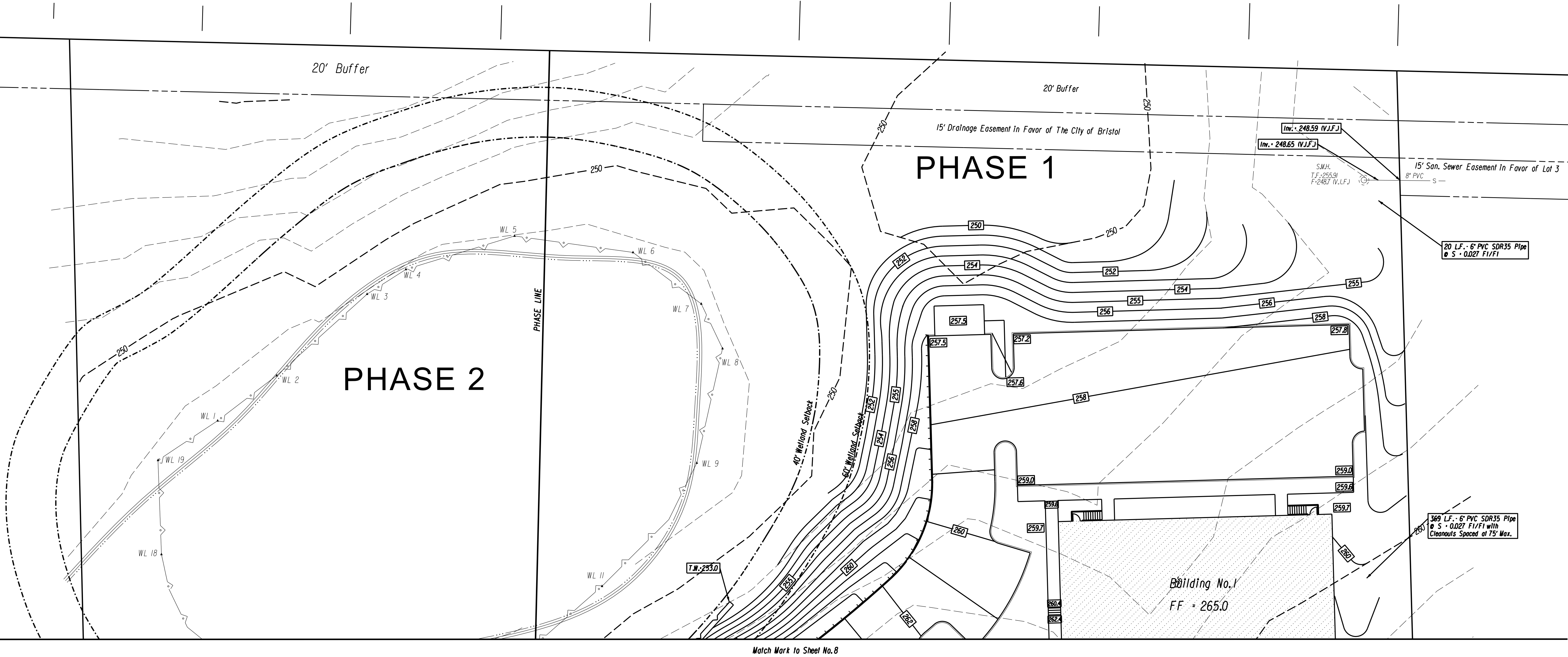
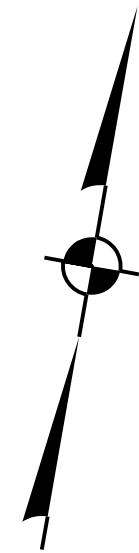
PROJECT TITLE:
IMPROVEMENT LOCATION SURVEY-PROPOSED
LOT 3-3 FORCE AUTOMATION
BUSINESS PARK DRIVE
BRISTOL, CONNECTICUT

ASSESSOR'S MAP/LOT: 3 / 3	DRAWING NO. UTIL-001
DRAWING TITLE: DRAINAGE AND UTILITIES	SHEET NO. 7



			DATE: DECEMBER 3, 2024	SURVEYOR SIGNATURE/BLOCK: TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.			ENGINEER SIGNATURE/BLOCK: Joseph M. Green	PROJECT TITLE: IMPROVEMENT LOCATION SURVEY-PROPOSED LOT 3-3 FORCE AUTOMATION BUSINESS PARK DRIVE BRISTOL, CONNECTICUT	ASSESSOR'S MAP/LOT: 3 / 3	DRAWING NO. GRA-001
			SCALE: SCALE IN FEET SCALE 1"=20'						DRAWING TITLE: GRADING	SHEET NO. 8
REV.	DATE	REVISION DESCRIPTION								

The Inland Wetlands Commission at its meeting held on Feb. 21, 2006 approved the referenced subdivision with the condition that on Lots 1 & 3 a 60' building setback and 40' grading setback be maintained from the wetlands unless an additional permit is granted from the City of Bristol Inland Wetlands Commission.

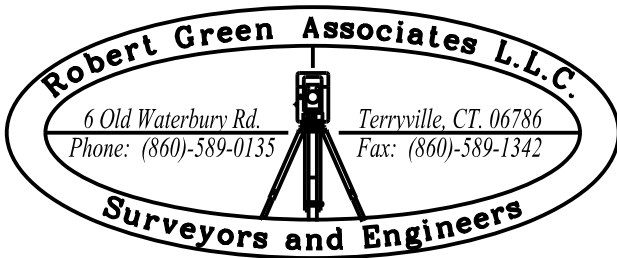


Match Mark to Sheet No. 8

REV.	DATE	REVISION DESCRIPTION

DATE: DECEMBER 3, 2024
SCALE: SCALE IN FEET SCALE 1"=20'

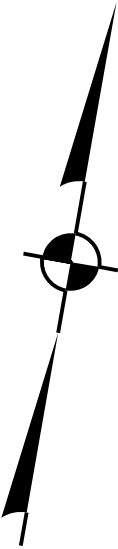
SURVEYOR SIGNATURE BLOCK:
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ENGINEER SIGNATURE BLOCK:
Joseph M. Green

PROJECT TITLE:
IMPROVEMENT LOCATION SURVEY-PROPOSED
LOT 3-3 FORCE AUTOMATION
BUSINESS PARK DRIVE
BRISTOL, CONNECTICUT

ASSESSOR'S MAP/LOT: 3 / 3	DRAWING NO. GRA-001
DRAWING TITLE: GRADING	SHEET NO. 9



N/F
Joseph Formisano

N/F
Dolores L. McDaniel

N/F
Michael & Mary Lou Kopinja

N/F
Jean-Luc & Linda L. Blodeau

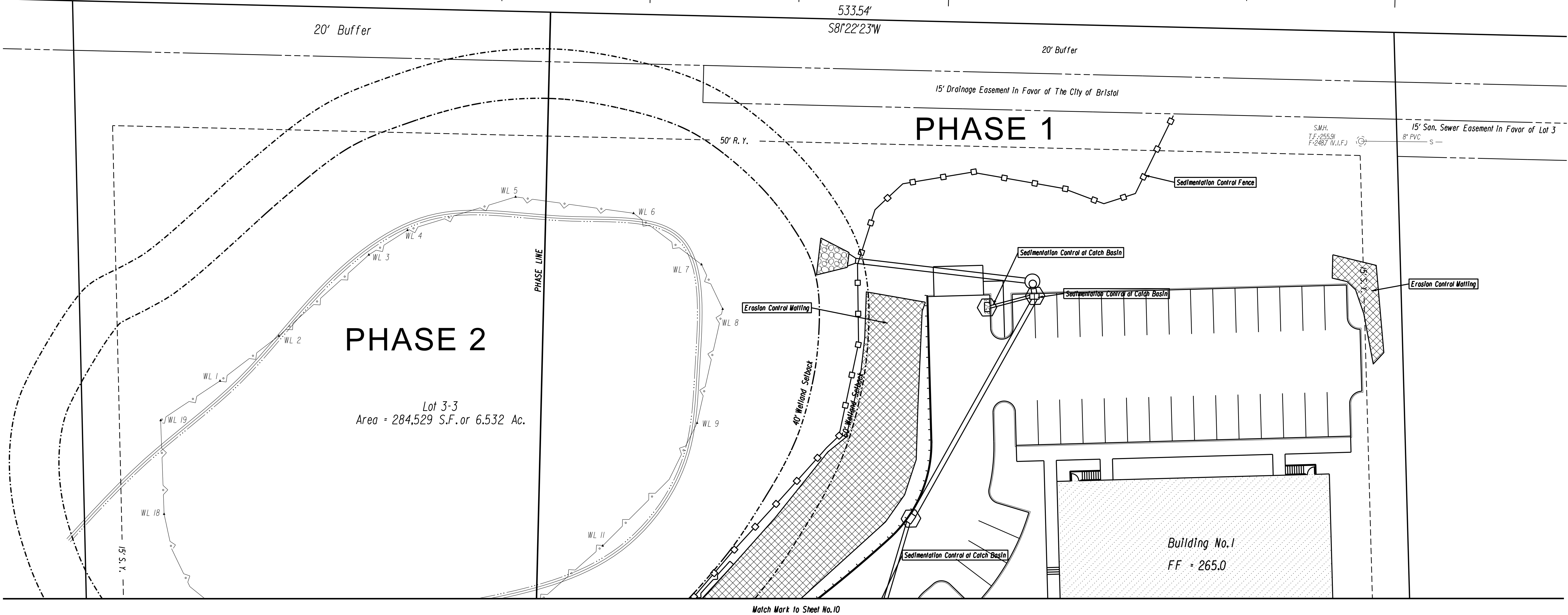
N/F
Aneta & Cezary Milewski

N/F
Bruce A & Selena Burness

N/F
Christopher N. Lagace

N/F
Kevin Chartier

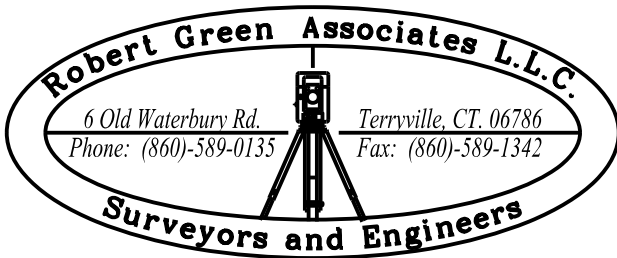
N/F
Paul D. & Patricis C. Martin



REV.	DATE	REVISION DESCRIPTION

DATE:	DECEMBER 3, 2024
SCALE:	SCALE IN FEET 0 20 40 SCALE 1"=20'

SURVEYOR SIGNATURE BLOCK:
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

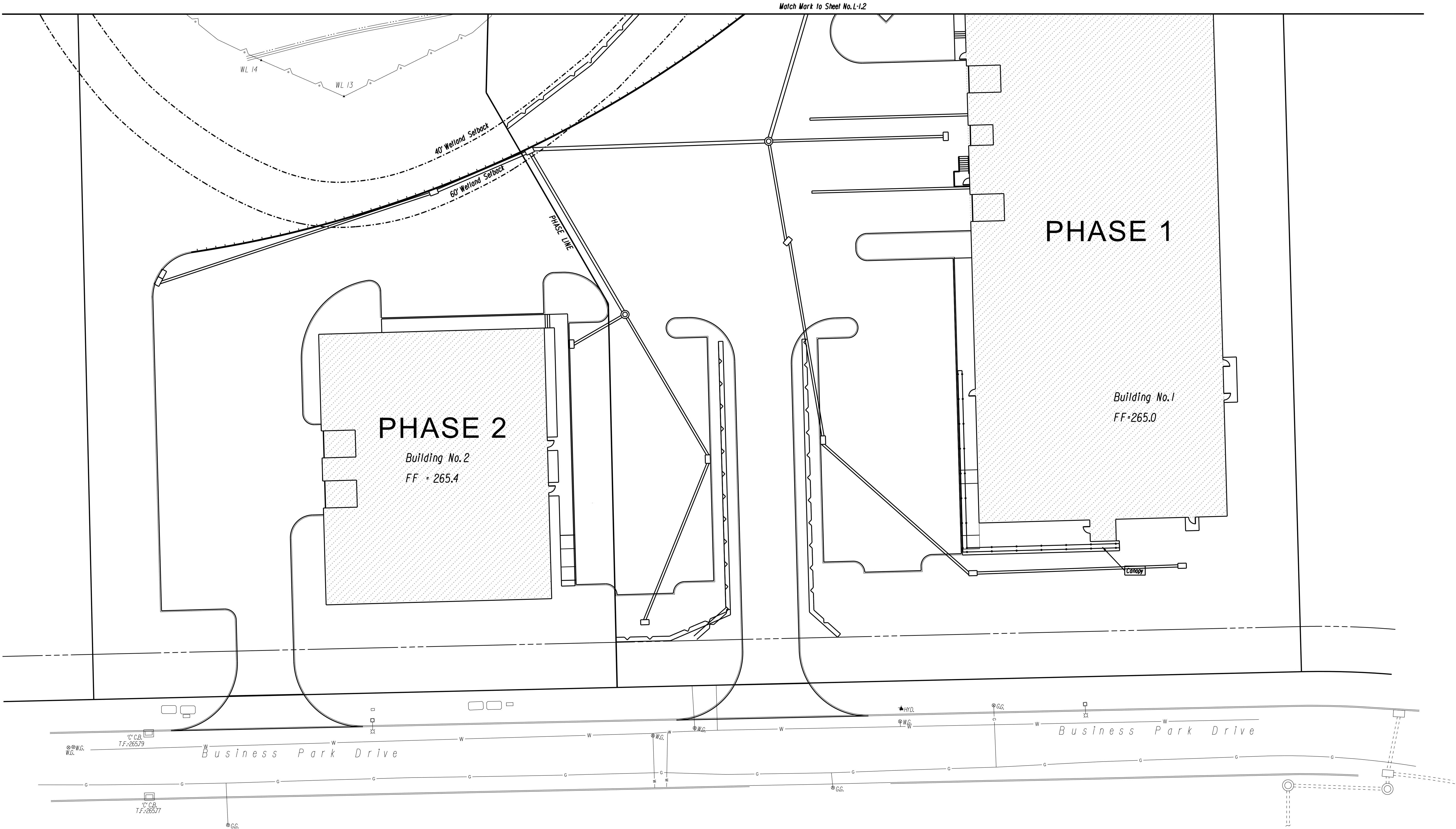


ENGINEER SIGNATURE BLOCK:
Joseph M. Green

PROJECT TITLE:
IMPROVEMENT LOCATION SURVEY-PROPOSED
LOT 3-3 FORCE AUTOMATION
BUSINESS PARK DRIVE
BRISTOL, CONNECTICUT

ASSESSOR'S MAP/LOT:
3 / 3
DRAWING TITLE:
EROSION AND SEDIMENTATION CONTROL

DRAWING NO.
E&S-001
SHEET NO.
11

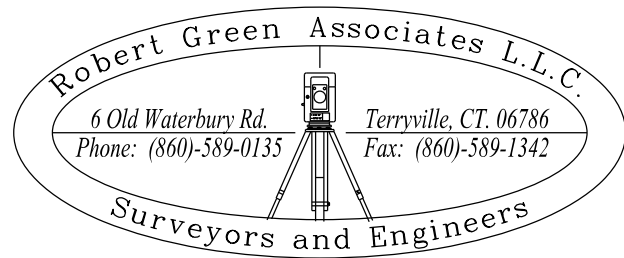


REV.	DATE	REVISION DESCRIPTION

DATE:
DECEMBER 3, 2024

SCALE:
SCALE IN FEET
SCALE 1"=20'

SURVEYOR SIGNATURE BLOCK:
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ENGINEER SIGNATURE BLOCK:

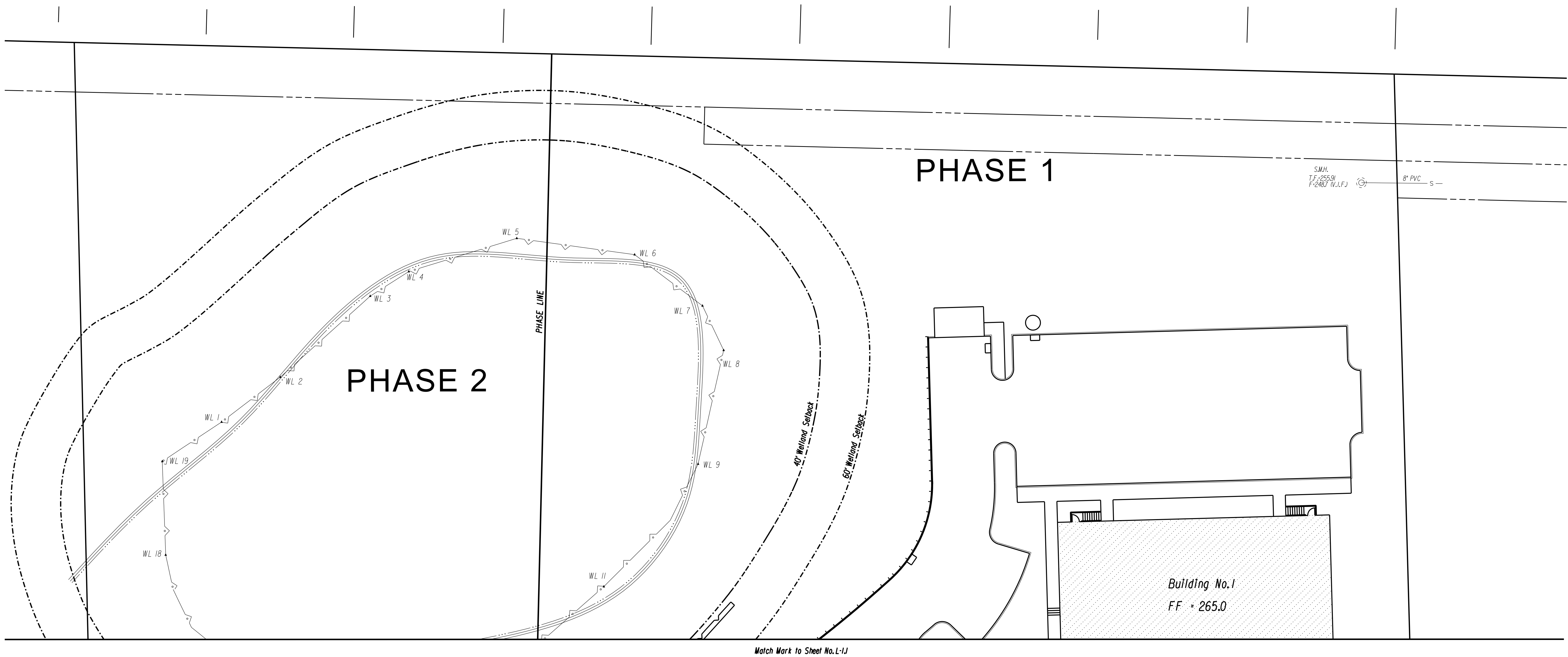
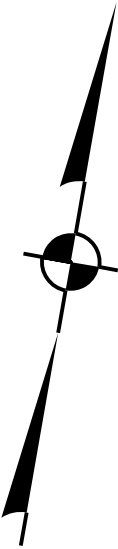
PROJECT TITLE:
IMPROVEMENT LOCATION SURVEY-PROPOSED

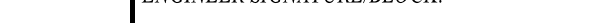
**LOT 3-3 FORCE AUTOMATION
BUSINESS PARK DRIVE
BRISTOL, CONNECTICUT**

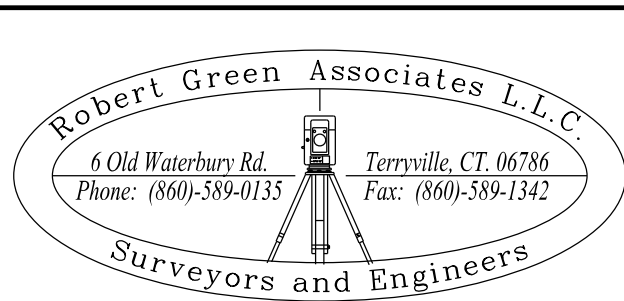
DRAWING TITLE:
LANDSCAPE PLAN

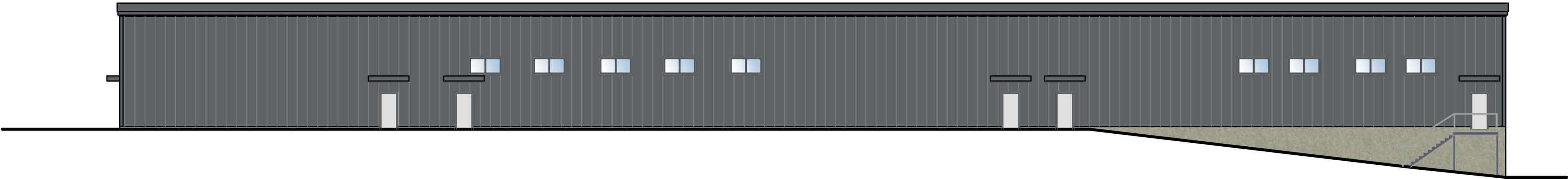
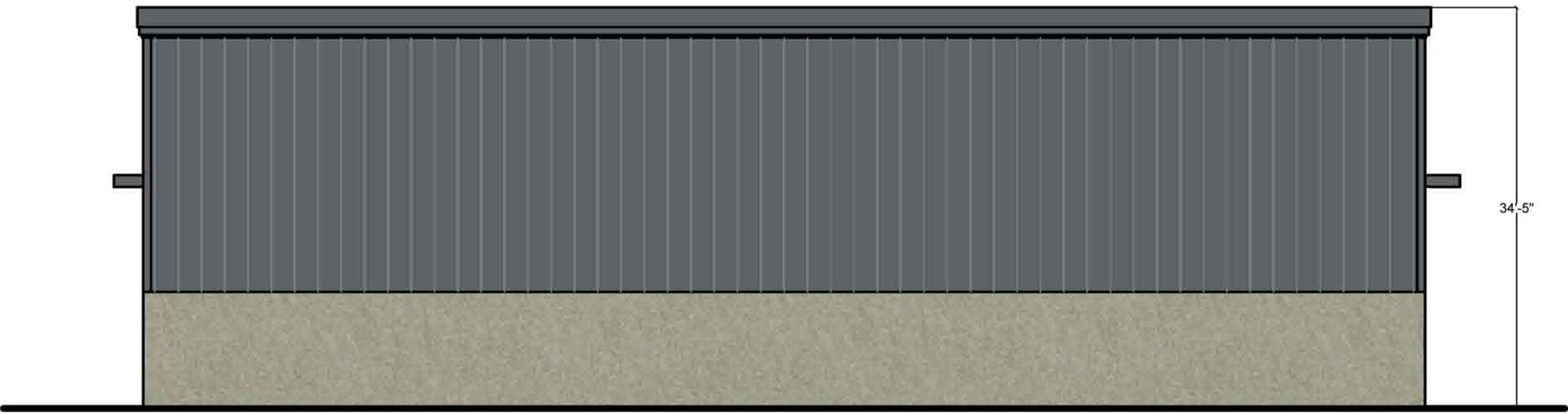
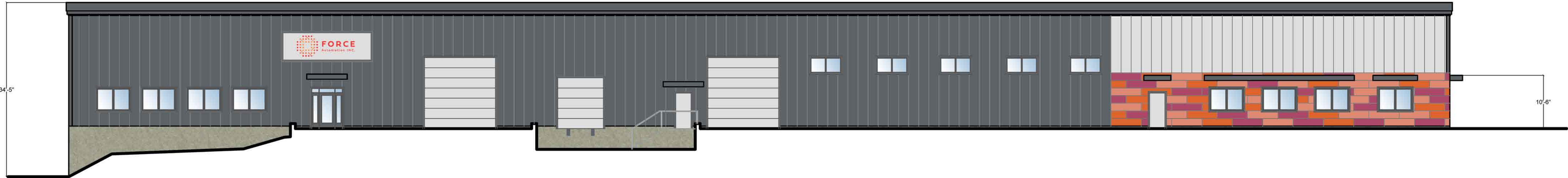
DRAWING NO.
3 / 3

SHEET NO.
L-1.1

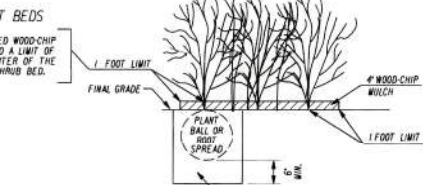


			DATE: DECEMBER 3, 2024	SURVEYOR SIGNATURE/BLOCK: TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.				ENGINEER SIGNATURE/BLOCK:	PROJECT TITLE: IMPROVEMENT LOCATION SURVEY-PROPOSED	3 / 3	DRAWING NO.
			SCALE: SCALE IN FEET 						LOT 3-3 FORCE AUTOMATION BUSINESS PARK DRIVE BRISTOL, CONNECTICUT	DRAWING TITLE: LANDSCAPE PLAN	SHEET NO. L-1.1
REV.	DATE	REVISION DESCRIPTION									

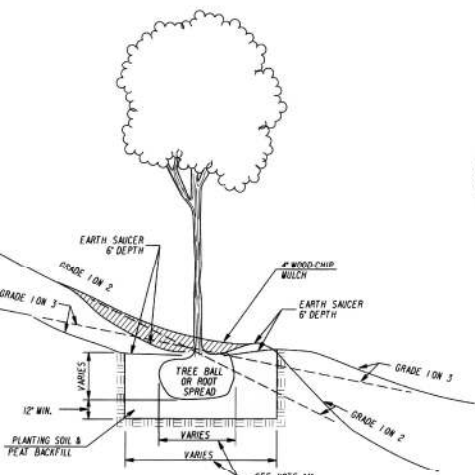




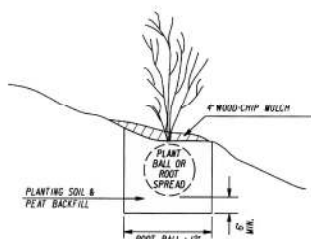
Drawing Title	Scale
ELEVATIONS	$\frac{3}{32}'' = 1' - 0''$
DPS_CLIENTS_FORCE AUTOMATION_BRISTOL_LOT 3 BUSINESS PARK DRIVE	Project Number 2024-22



SHRUB PLANTING IN BEDS



TREE PLANTING



SHRUB PLANTING

AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" OF LOAM AND SEED.
 MOVED WEED BARRIER UNDER ALL BARK MULCH
 SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND
 TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MAY OCCUR BETWEEN PLANTING
 SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS
 CAN BE DETERMINED.
 BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND ACCEPTANCE AND
 AT LEAST 80% HEALTHY GROWTH AT THE END OF THE GUARANTEED PERIOD.
 AND SPACING MAY BE MODIFIED AS NEEDED BY THE LANDSCAPE INSTALLER.
 MAY NEED TO BE SUBSTITUTED WITH AN EQUIVALENT SPECIES DUE TO AVAILABILITY AT THE
 LOCATION.



Planting Key			
Key	Quantity	Botanical Name Common Name	Size
EWP	30	Pinus strobus Eastern White Pine	6' - 8'
BP	8	Pyrus Calleryana "Bradford" Bradford Pear	2" - 2 1/2"
AZ	7	Rhododendron / Robelzea Autumn Bonfire Azalea / Deleware Wine Valley Azalea (Alternate Color)	3' - 4'
CBS	4	Picea pungens Colorado Blue Spruce	6' - 8'